

### **REQUEST FOR PROPOSAL**

### PROJECT NAME: Vacant Lot Redevelopment Project

### **ISSUED BY:**

Bridging Communities, Inc. (BCI) 6900 McGraw, Detroit, MI 48210

### **ISSUE DATE:**

April 4, 2025

### **PROPOSAL DEADLINE:**

April 22, 2025 at 5:00 PM EST

### **1. ORGANIZATIONAL OVERVIEW**

<u>Bridging Communities, Inc.</u> (BCI) is a Detroit-based nonprofit community development organization dedicated to providing services that connect people to resources and programs that promote senior independence, housing stability, and healthy communities. Our core goals include:

- Helping seniors age in place by providing access to resources that address basic needs
- Providing access to programs and services that stabilize homes and neighborhoods

### 2. PROJECT OVERVIEW

BCI is seeking a qualified contractor to redevelop a vacant lot at our office location (6900 McGraw, Detroit, MI 48210) into a garden area with a pergola. This project has been made possible through funding from a Kresge Innovative Projects: Detroit+ (KIP:D+) grant.

The proposed greenspace and pergola were designed in collaboration with our surrounding partners and neighbors to provide an additional community space for outdoor enjoyment. The complete design specifications have been prepared by Detroit Collaborative Design Center and are available as an attachment to this RFP.

### **3. SCOPE OF WORK**

The selected contractor will be responsible for the following:



### **3.1 Site Preparation**

- Site demolition and clearing
- Soil erosion and sediment control implementation
- Site grading and preparation

### **3.2 Construction**

- Pouring aggregate exposed concrete for pathways and pergola foundation
- Installation of pergola structure
- Installation of site furnishings

### 3.3 Landscaping

- Soil preparation and amendment
- Installation of plants, trees, and other vegetation as per design specifications

### 3.4 Finishing

- Site cleanup
- Initial landscape maintenance

### 4. QUALIFICATIONS AND REQUIREMENTS

BCI is seeking contractors with:

- Demonstrated experience in landscape architecture, urban planning design, or related field
- Installation capabilities and established relationships with trusted subcontractors
- Experience with similar community-based projects in Detroit
- Ability to meet all project deadlines
- Proper licensing and insurance

### 5. TIMELINE

- **RFP Release Date:** April 4, 2025
- Site Visit Opportunity: by appointment\*
- Proposal Submission Deadline: April 22, 2025 at 5:00 PM EST



- Contractor Selection Notification: April 25, 2025
- **Project Completion Deadline:** June 30, 2025

\*To schedule a site visit, please contact KaTrice Perry <u>k.perry@bridgingocmmunities.org</u> 313-265-3631 or Phyllis Edwards <u>phyllis.edwards@bridgingcommunities.org</u> 313-574-4813

### 6. PROPOSAL REQUIREMENTS

Interested contractors must submit proposals including:

### 6.1 Company Information

- Company name, address, and contact information
- Brief history and overview of company
- Project team contact and key personnel bios/qualifications

### 6.2 Project Approach

- Detailed description of approach to the project
- Proposed timeline with key milestones
- Methods for ensuring project completion by June 30, 2025

### **6.3 Previous Experience**

- Portfolio of similar projects
- At least three references from previous clients (at least two from Detroit-based clients)
- Examples of community-based projects, especially those completed in Detroit

### 6.4 Budget Breakdown

- Detailed cost estimates for each project component
- Labor costs
- Materials costs
- Equipment costs
- Any additional expenses

### 6.5 Additional Documentation

• Proof of insurance



- Copies of relevant licenses and certifications
- Proof of ability to secure necessary permits

### 7. SELECTION CRITERIA

Proposals will be evaluated based on:

- Quality and completeness of proposal
- Relevant experience and qualifications
- Project approach and methodology
- Budget and cost-effectiveness
- Timeline feasibility
- References and past performance

### 8. SUBMISSION INSTRUCTIONS

Proposals must be submitted electronically to **k.perry@bridgingcommunities.org** with the subject line "Lot Redevelopment Proposal" OR mailed/delivered in a sealed envelope to:

Attention: KaTrice Perry Bridging Communities, Inc. 6900 McGraw, Detroit, MI 48210

All proposals must be received by 5:00 PM EST on April 22, 2025.

### 9. CONTACT INFORMATION

For questions regarding this RFP or to schedule a site visit, please contact:

KaTrice Perry- Executive Director, Bridging Communities, Inc. <u>k.perry@bridgingcommunities.org</u> Direct 313-265-3631 Office 313-361-6377 ext 101

Phyllis Edwards- Project Consultant, Bridging Communities, Inc. Phyllis.edwards@bridgingcommunities.org Direct 313-574-4813

### **10. ADDITIONAL INFORMATION**

- BCI reserves the right to reject any and all proposals
- Contractors are responsible for all costs associated with proposal preparation
- The selected contractor will be required to enter into a written agreement with BCI
- This project is funded through the <u>Kresge Innovative Projects: Detroit+ (KIP:D+)</u> grant program

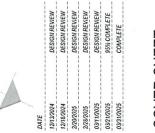
# COMMUNITIES

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### **BRIDGING COMMUNITIES**



NORTH

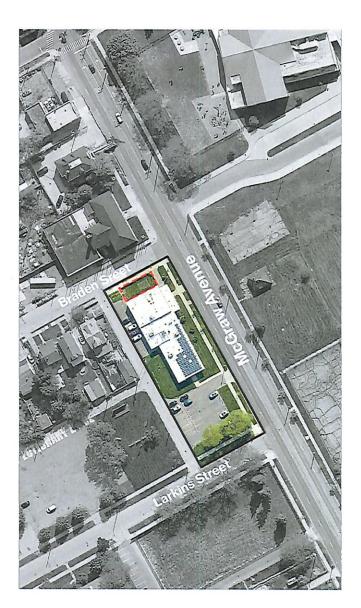
COVER SHEET

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NO.	JITLE
BRIDGII	BRIDGING COMMUNITIES LANDSCAPE DESIGN
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10.01	GENERAL NOTES AND SPECIFICATIONS
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L1.14	SITE FURNISHINGS PLAN
L1.15	PAVING PLAN
L1.16	SITE DETAIL SHEET
L1.17	SITE DETAIL SHEET



SITE/BUILDING PHOTO

not to scale



**1** LOCATION MAP

6900 McGRAW AVE	AVE, DETROIT, MI 48210
Ы	PROJECT DATA
PROJECT B	BRIDGING COMMUNITIES LANDSCAPE DESIGN
ADDRESS	6900 McGRAW AVE, DETROIT MI, 48210
APPLICABLE CODES ALLONSTRUCTION TO COMP BUILDING, PLUMBING, MECHAN REQUIREMENTS.	APPLICABLE CODES ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE CODES INCLUDING LOCAL BUILDING, PLUMBING, MECHANICAL, AND ELECTRICAL CODES, ORDINANCES AND REQUIREMENTS.
2015 MICHIGAN BUILDING CO 2018 MICHIGAN ELECTRICAL 2018 MICHIGAN PLUMBING CI CITY OF DETROIT ZONIN	MICHIGAN BUILDING CODE - INCLUDES MICHIGAN BARRIER FREE DESIGN RULES MICHIGAN ELECTRICAL CODE MICHIGAN PLUMBING CODE CITY OF DETROIT ZONING ORDINANCE 309-G
PROJECT DESCRIPTION REDEVELOPMENT OF VACANT STAFF CAN SIT, RELAX, AND EN	PROJECT DESCRIPTION REDEVELOPMENT OF VACANT LOT INTO SMALL GARDEN AREA WHERE RESIDENTS AND STAFF CAN SIT, RELAX, AND ENJOY THE AREA.
LEGAL DESCRIPTION CITY OF DETROIT PARCEL: 1800 STREET ADDRESS: 6900 MCGR DESCRIPTION: N MC GRAW 85 1 296.10 IRREG	LEGAL DESCRIPTION CITY OF DETROIT PARCEL: 18003087-100 STREET ADDRESS: 6900 MCGRAW, DETROIT, MI, 48210 DESCRIPTION: N MC GRAW 85 THRU 72 STEPHEN PRATT SUB L55 P81 PLATS, W C R 18443 296.10 IRREG
ZONING CLASSIFICATION R-2: RESIDENTIAL DISTRICT 6900 McGRAW ST	
LOT SIZE 1,450 SQ. FT. 56'-6" X 25'-5"	
CONSTRUCTION TYPE IIB PERGOLUX PERGOLA S2: FREE BOOKLETJ	CONSTRUCTION TYPE IIB PERGOLUX PERGOLA S2: FREESTANDING - 13" X 16" (SEE PRODUCT SPECIFICATION BOOKLET)
FIRE RESISTANCE NOT APPLICABLE (OUTDOOR, OPEN SPACE)	DPEN SPACE)
OFF-STREET PARKING REQUIREMENTS NOT APPLICABLE (OUTDOOR, OPEN SPACE)	QUIREMENTS DPEN SPACEJ
OCCUPANCY AND USE USE CLASSIFICATION	OUTDOOR, RECREATIONAL
OCCUPANT LOAD FACTO	OCCUPANT LOAD FACTOR (Table 1004.1.2 - MBC 2015)
Type Area/Occupancy NOT APPLICABLE (OUTDOOR, OPEN SPACE)	upancy Total Occupants
FIRE SUPPRESSION REQUIREMENTS NOT REQUIRED	IENTS
MEANS OF EGRESS AND EXIT ACCESS NOT APPLICABLE (OUTDOOR, OPEN SPACE)	ACCESS DEN SPACE)
REQUIRED PLUMBING FACILITIES (Table 403.1 - MBC 2015) NOT APPLICABLE (OUTDOOR, OPEN SPACE)	ES (Table 403.1 - MBC 2015) DPEN SPACE)

C. The Landscape Contractor shall guarantee irres, shutbs, ground coverifierennial leed and displayereeds transmission and for a priorit of dron yap are of date of acceptance of intellibrion against other and and and areastablently ground, secret for acceptance strategical yours, takes or dataparts by others, or unusual phenomena or incidents within a behavior Landscape Contractor's process. Costs for replacements are assumed part of bid quotations and therefore will not result in an additional cost to Owner's Representative. At east damaged as result of replacement operations are to be restored by Contractor at no cost to the Owner's Representative. D. The Landscape Cortractor shall warranty plants due to overwatering or under watering by automatic irrigation system (if applicable) during maintenance and warranty period. 5. The cordusctor shall be responsible for keeping guy wires faut, raise free bails which settle, that and spky trans as morestants to loke to the plantings free of disease and interest undil the end of the warranty period. All evergeness shall be warred provided in the fall to insure thay do not go into the writer dry. 5. Whet Evergeen Protecton (Tests and Strubs). Tested builtip (green) and ZxZx8 and soot States of 24 OG. Cash burding to work and alber-win rock protection the first wired sect, remove and divise to non-ext. Contracted while insula wired protection the first wired states. The second sect of and the first and second sector of the second shift higher of the Observed of 15. Insula screen height as required. Stray evergreens and December 1 and serve April 15. Insula screen height as required. Stray evergreens insula December 1 and sain January 1, hon condrings are required, apply per insulative is recommendations. 3. The oxchector will be responselve for irrigation system operation, watering schedules, and an and general monitoring of irrigations pattern throughout construction, maritenance and warranty period. Overwaltring or lack of from irrigation system source is the responseling of the landscape occupation. 2. Replacements must meet specifications i.e. quality, species of plant material and planting procedures to receive approval of replacement materials by Owner's Representative. A To insure guarantee standards, the following maintenance procedures shall be executed during construction and for the full project warranty period. The contractor shall be responsible for watering of all plantings throughout construction, wirtenance and warranty periods. B. Maintenance of Trees: 1.05 MAINTENANCE A Provide materials as recessary to comply with Wigne County soil ension and sedimentation control. All method provide for use shall be adject to approval and modification by the Owner, theyevertuine and the local endrong agency. complete the Sta toth, except as for ion cortrol measured ton, unless otherwise al to minimize sitution shutton begins ų

To Renove and Leidenerses, thorise, or other parks tocal too be also of numbershy confacto. Remove rejerted plants and matrixing proceepts, Mate registerenersis during too howen promised plants and matrixing proceepts, Mate registerenersis during pointed to overly Representative and its advessible to entent warmorpreside for advession presentative and its advessible to entent warmorpreside for a difference and plant matrixing and a statisticable to entent warmorpreside for difference and plant matrixing at the and of this warmary period. Keep planticity before the set evel of dring parks are and plantic and and and and and and the statisticable to matrix and planticity and and advessible to entent warmorpreside free of uppared beholden.

C. Maintenance of Seeded Lawn Areas:

ogs to the site

I. The Cordization that leadablesh a dorned lawn of permunant grasses, free from lumps and depressions can apply the sectory, and on thinkin is leader than non-soft of a cara up to a maximum 31% of the local sectored lawn area. Any part of the sectored lawn that these to how a uniform growth and/or germination shall be reserved until a dense corer is established.

2 If seeded in fail or if not considered acceptable at that time, continue maintenance the following spring until acceptable lawn is established.

 The Owner assumes cutting responsibilities following the acceptance of installation by the Owner's Representative. 3. The Contractor shall provide a minimum of Iwo cutings of the Iwan or more as necessary the imspection and scorptance of installation by the Owner's Representative. When the Iwan neaches 3 increase in height it shall be cut to 2 increas in height. When meadow lean neaches 6° in height & shall be cut to 4° in height.

5. Alse acceptance of installation, and for the duration of the project warrarly period the statisticalse Contraction and Mar multistance procedures and the full instance procedures and the full instance procedures and supplied by hethologia, weeking, and Other operations such as inform, up starting, negativity, and septimp hethologia, projectis, interacticides as required to establish a proceptable from the of eroded or bing areas.

Repair, rework, and re-seed all areas that have washed out, and eroded, or do not substantially germinate.

7. See Section 1.06,B: Items 6 and 7.

8. At conclusion of project warrary period and after receiving written final acceptance by Owner's Representative, the Owner shall assume all seeded lawn maintenance Responsibilities.

1.05 FINAL ACCEPTANCE

A Aft be conclusion of the project warrary period the Landscape Contractor shall request a project inspection by final acceptance in which the Landscape Contractor and Onmer's project inspection by the present. After its networks on Provid-List The Shall was the Onmer's Representative. Upon completion data pruch last leaves the "Onmer's Representative action completion and pruch last leaves the "Onmer's Representative acceptance the project and issues a written statement of final acceptance. Upon final acceptance the Onmer assumes all maintenance responsibilies for the Indiscipe of the project.

END OF SECTION 32 01 90 od from date of

statement

A The project warranty period begins upon written acceptance of the project netaliation by Owner's Representative.

The landscape contractor accepts responsibility for the impatton system operation of applicable), watering schedule, watering amounts and monitoring system for furstion of maintenance and warrantly period

2. Cortractor shall be responsible for stabilizing grades by approved methods prior to and/scaping and shall be responsible for contection of grades as mericioned above, and and poll any variand ords or erosion.

Topsoil Specification SECTION 32 91 13 - TOPSOIL

Fine Grading SECTION 31 22 16 - FINE GRADING

PART 1 - GENERAL

A. Attention is directed to Bidding and Contract Requirements, General and Supplem Requirements, which are hereby made a part of this Section. 1.01 RELATED DOCUMENTS PART 1 - GENERAL 1.01 RELATED DOCUMENTS:

A. Attention is directed to Bidding and Contract Requirements, and General and Supple: Requirements. which are hereby made a part of this section.

UNIVERSITY OF DE TROIT MERCY SCHOOL OF ARCHITECTURE AND COMMUNTY DEVELOPMENT 4001 W. MCNUCHOLS DETROIT, M 45221-3033 P. 313 933 1037

BRIDGING COMMUNTES BRIDGING COMMUNTES BRIDGING COMMUNTES

OWNER

Pryla Ederata Escalas Drada Pryla ederato@brdy.gonenardea og 2012ki ederato@brdy.gonenardea og

Owies Creas Project Warage crease Marrah France Franch Camery edu Lan Mrko-Force municip@idnersy.edu

CONTRACTOR TED

LEAD DESIGN TEAM

DCDC

Detroit Collaborative Design Cente

A. Provide all tabor, materials, necessary equipment and services to complete the Fine Grading work, as inforted on the discript, as specified herein or both, evcept as for items work, and information as 'NG TIENS'. 1.02 WORK INCLUDED.

B. Topsol for lawn work shall be as stripped from site or provided by contractor from off-sit sources free of herbiodes and conforming to the specifications herein.

Section 32 92 19. Seeding Section 32 93 00. Trees, Shrubs and Ground Covers

1.03 QUALITY ASSURANCE

C. Related Work Specified Elsewhere

A Extent of Topsol Work is as described on drawings and by pro

1.02 DESCRIPTION OF WORK:

B. Related work specified elsewhere 1. Section 32 92 19. Seeding 1.03 SITE INSPECTION

A The Contractor shall visit the site and acquaint themselves with all existing conditions. The Contractor shall be networked by it is own tabutation mercegological to assistly to assist requirements of this Section. All subsurface investigations statille performed only under time schedules of annagements approved in advance by the Landscape Andhect on Onnels Representation.

1.04 EXISTING CONDITIONS:

A Topsol sample shull be submitted to Landscape Architect for approval prior to delivery of repost. Submit and instructions documentation of norbid and not bornet. Landscape Architect reserves the night to request testing for topsoil that does not appear to meet approximation. The structure and and succepting the proposil and and and the independent testing bloodary romally recorporate at that the approximation are approximation. The server assistance to the structure structure and the testing bloodary romally recorporate for the server assistance accreted shall be a testing tabloade tables to the structure structure concreting and testing at house of stoppilad topsoil before activities and appeared to the server assistance to the stoppilad topsoil before activities and the storp of toppical shall be borne by the Contraction.

A Obtain drawings showing proposed final grading from Civil Engineer, as indicated on drawings (it applicable)

1.05 UTIUTIES:

B. Before starting site operations, verify that earlier Contractors (if applicable) have disconnected all temporary utilities that might interfere with the fine grading work. A Contractor is responsible for calling MISS DIG (811) prior to beginning any work on site

C. Locale all existing, active utily inner traversing the site and determine the requirements for their protection. Preserve in operating condition all active utilities adjacent to or transversing the site that are designaised to remain.

D. Observe rules and reguitions governing respective utilities in working under requirem. this section. Adequately protect utilities from diamage, version en rulovate as infrarated, specified or required. Remove, plug or cap inactive or abandoned utilities encourtered in rotanization. Record braction of active utilities.

A Requirements of all applicable building codes and other public agencies having juriedction spon the work. 1.05 QUALITY ASSURANCE:

B. Primary emphasis abould be given to the seatheric appearance and functioning of terminy and waves, as districted by thandcape, therefore to Owner Kensterencistom. The contractor shall remycly aiting percentiand any messessary exponent to insure that finish grading is morood, assettledially pleasing, darins well and is ideal for receiving soci or seed, and plant makings.

PART 2 - MATERIALS 2.01 EXISTING SOIL A Use of on-else encanated real materials is allowed if free from obtain, sout, non-biodegradable materials and other elseverable materials and sproved by consistence of more fragerentation. The Contractor shall have obtain a subclicating procession and starts of brings to support gasters and polar meshall and the other encourse contractor of mesh store is pairing or polyments. Contractor shall such that procession and starts of the polyment polyments. Contractor shall such tagging brings of explorated and materials and and meshanes polyment and its material and its and tagging brings of explorated and materials and explored to an and all such tagging brings of explored and anterials, and diving methods and tagether and invertig areas that an effected to be restored as hann. Landscipping of contractors

In areas to receive seed, evicting turf or groundcover is to be removed, soil is to be scarified to depth of t' and soil shall contain enough organic matter to support and encourage rooting.

PART 3 - EXECUTION

3.01 JOB CONDITIONS:

A Dust cortool. Use all means necessary to prevent dust from construction operations from temp a ruisance to adjacent property owners and from damaging frichs surfaces on adjacer building parking, etc. Methods used for dust control are subject to approval by the Land-scape Adribied Offormer's Regressification.

C. Protection: Use all means necessary to protect curchs, guident, sprinklen, utilities and registerenetistand to terminal in the second currenge, interactly must be registered and description of muscal and the second durange, interaction for Achiet. Contractor shall incur all cost for the replacement of damaged objects and vegetistome. B. Burning: On-site burning will not be permitted.

3.02 SCHEDULING:

ideration for adjoining property A Schedule all work in a careful manner with all necessary owners and the public.

B. Coordinate schedule with other Contractors to avoid conflicts with their work

3.03 EXCAVATION

A. Excavate where necessary to obtain subgrades, equired.

B. Materials to be excavated are unclassified.

Remove entirely any existing obstructions after approval by the Landscape Architect's or Daniel's Representative.

D. Remove from site and dispose of debris and excavated material not required in a legal manner

3.04 GRADING:

The Contractor shall establish finished gastes as shown on the plane and/or as directed by the Lansscape for chick, montain gases where he scienting gaste has been offsched by other work sease that have been discribed by other work shall be restored per specification and plan defails. Finished grading shall be smooth, aesthetically pleasing, drain well and ready to receive seed of oher plant material to full satisfaction of the Owner's Representative, Architect and controlor Manager.

3.05 COMPACTION:

A. Compact each layer of fill in designated areas with approved equipment to achieve a naximum density at optimum molature, AASHTO T 180 - latest edition.

Under buildings, roadnays, curbs, waiks and other paved areas: compaction shall be to 55% of maximum density.

2. Under landscaped area, compaction shall not exceed 65% of maximum density.

B. No backfil shall be placed against any mascory or other exposed building surface until permission has been giving by the Owner's Representative, and in no case until the mascory has been in place servin days.

C. Compaction in limited areas shall be obtained by the use of mechanical targets or approximate that the share of the structure are used of the structure share and the structure share share share share and the structure share and the structur 06 CORRECTION OF GRADE

F. Crowning incounding to be free flowing in shape and design, as indicated, and to blend into inciding gase gastuary to bat to be di sobe is not reactly visible. Landscape Architect to welf final concound pelicine planting.

G. Regardiness of finish grafing ventions indicated, it is internal that grafing the such that grafing the such was provided and the such and a such as the value of the such and a value of the such and the such as a such as

A. Bring to required grade levels areas where estimment, erosion or other grade changes scluet grades as required to camp dramage away from buildings and to prevert ponding. And the buildings and on pavements.

GENERAL NOTES AND SPECIFICATIONS

0.01

DESIGN REVIEW DESIGN REVIEW DESIGN REVIEW 95% COMPLETE COMPLETE

03/11/2025 03/21/2025 03/28/2025

2/20/2025 2/28/2025

DESIGN REVIEW DESIGN REVIEW

12/13/2024 12/16/2024

NORTH

B. Remove all took or objectionable material larger than 1° any direction prior to co and cosping.

A Upon completion of topsoiing operations, clean areas within contract limits, remove tools and equipment. Site shall be clean, clean, free of debris and suitable for site work operation

3.03 CLEANING:

END OF SECTION 32 91 13

1. Chemical analysis indicating B. Required Topsoil Tests:

Sol and Plant Nutrient Laboratory popatment of Plant, Sol and Microbial Sciences Para I and Soil Science Budfing 1056 Bogue Street, Room Aa1 517-355 Ozt6 517-355 Ozt6

1. Recommended testing laboratory.

a. fentlty: pH, ntrate nitrogen, ammoria nitrogen, phosphate phosph potassium, calcium, magnesium.

b. suitability: total salinity, boron, sodium, p chloride, suitste.

2. Physical properties including:

 b. particle size distribution a. organic cortent

1.04 SUBMITTALS

A Topsoil

B. Submit the following materials certification

1. Topsoil source and pH value 1.05 PROJECT CONDITIONS:

A. Known underground and surface utility lines are indicated on the civil dravings. Contract is still responsible to call MiSS DiG (811) prior to commencement of work.

Contractor shall protect existing trees, plarts, specified lawn areas and other features designated to remain as part of the landscaping work as directed by Landscape Architect

C. Promptly repair damage to adjacent facilities caused by topsoil operations. Cost of repair Contractor's expense.

INNWWO

D. Prompty notify the Landscape Architect of unexpected sub-surface condition

PART 2 - PRODUCTS 2.01 MATERIALS:

A. Provide topool as required to complete job. Topool must be approved and/or meet testing forefinal results specified. All processings and propragation of this topool to render it cooreblable for use is the responsibility of this contractor.

B. Topsol, shall be fettla, friable sandy, sandy loam sol without admixture of subsol and free of storess, storation, storad, storad, storadis elestioned privating on the Topsol shall not freezen or muddy. Find existing or supplead soil to anape texteren 63 and not more abar 10. Topsol and does not meet this pirit range shall be aneroided with approved pirit objuster. Topsol shall contain roll less than 3% and not greater than 10% organic maller determined by loss through phytican.

C. Gradation of Topsoll.

Sieve Designation Percent Passing

BRIDGING

1 inch serven 100 7. inch serven 100 8. 0.10158. mesh serve 55-100 8. 0.10158. mesh serve 55-100 10.4 (47 from) 100 10.102 comma 55-100 10.102 comma 5

PART 3 - EXECUTION

3.01 EXAMINATION.

conditions. Do not start A. Examine rough grades and installation insatisfactory conditions are corrected.

3.02 FINISH GRADING:

A. Perform topsoling within contract limits, including adjacent transition areas, to new elevations, levels, profiles, and contours indicated. Provide uniform levels and slopes new elevations and existing grades.

Lakin Areas: Supply and spread topsoil to a minimum uniform depth of 4" or as requi match existing, adjacent grades. Remove clumps larger than 1" in diameter. B. Grade surfaces to assure areas drain away from building structures and to prever and pockets of surface drainage.

D. Grade lawn areas to a smooth, free draining even surface with a loose, modera texture ready to accept seed or sod

E. Provide earth crowning where indicated on drawings, or as directed by La. Architect.

### Site Demolition

ON 02 41 00 - SITE DEVOUTS PART 1 - GENERAL

101 RELATED DOCUVENTS

A Attention is directed to General and Supp of this Section

- 102 WORK INCLUDED
- A Provide al lucor, materials, recessary equipment and services to complete the stel dimotion work as relation on red parings, as specified herein or both, except as for dims specifical robusted as "11.0," (roch nordram).
  - B Related work specified elser
- 1 Section 31 25 00 Soil Erosion and Sedmentation Contro
- nd heyers ex ractor Qualifications Mm 103 OUALITY ASSURANCE
- B. Requirements of All Applicable Regulatory Agencies
- 1 All applicable Building Codes and other Public Ager SUBWITTALS
  - A Permis and notices authorizing building de
- B. Certicates of severance of utility services
  - C Permt of transport and disposal of debris
- D Demotion procedures and operational Representative

### 2001/01/00 800 A Protection

- Elect benes, ferces, guard rais, enclosures and shoring to protect and utilities remaining intact
  - 2. Protect designated trees, plants, and lawn areas from
- 3 Use all mers recensive to protect evolugy objects and vegetation designated to re-and, in the event of damage, immediately make all repairs, replacements and dreated damaged plants recensary to the approval of the Landscope Archited at no additional co the Ounce. B Maintaining Traffic
  - Ensue minimum interference with roads, streets, drivenays, sidenairs and
     Do not close or obtinuit streets and sidenairs
- 3 if required by governing authorities, provide alternate routes aroun traffic ways.
- C Dust Control
- Use all means receivery for preventing dust from demotion operations from being mulairon to adjacent property owners. Nationois used for dust control are subject to approval by the Landscape Acritect provids use:
- D Buring 1. Onside buring will not be permitted PART 2 PRODUCTS THOT APPLICABLET
  - PART 3 EDECUTION
- A. Verify that ethodures to be demonshed are discontinued in use and ready for removi
- 8 Do not commence work until compled with
  - 3 02 PREPARATION
- A Arrange for and verify termination of utility services to include removing meters and capping lines Contractor responsible for nothing U.SS DiG (611) prior to any site denorty tegin after approval from U.SS DiG
- 1. Tathy the Owner at least three full working days pri
  - CLARFICATION
- A. The drawings do not purport to show all objects existing on the site
- B. Before commencing the work of the Section, verify with the Owne all objects to be preserved. 304 SCHEDULING
- A Schedule all work in a careful manner with all neo public and the Owner
  - B. Avoid riterieroe with the use of, and passage to and from, adjacent loc 3 05. Disconvision of unturnes.
- A Before starting size operations, disconnect or analyse for the disconnection of all utility sets designation be removed, performing all such work in accordance with the regularized the utility company or approxy included. 3 05 PROTECTION OF UTILITIES
- A Preserve in operating condition all active utilities adjacent to on traversing the site designated to remain. 307 DEMOUTION OF SITE STRUCTURES
  - A Demolshall ste structure terrs designated to be to perform the work
    - 3 03 OTHER DEMOUTION (F APPLICABLE)
- A hat day a warry doily doil hose dayardlard that abactoment transport elevation (see, ) possible of second and a possible has been accessed and a forter case elevation for encoder methods have not be recorded to the record of methods have set. Contact hat uffy compary an exponential for the recorded for forter methods for working has set. A monoid expanded a difference of methods for where the second contact hat uffy compary a regimentation of the recorded expanded and the recorded for the recorded for the recorded of the recorded expanded and the recorded expansion of the record
- B Re-roal of Debre Re-row all detriction the allowed and the first of the large to EVD OF SECTION 02 41 00

### Sediment Control Soil Erosion and

SECTION 31 25 00 - SOL EROSION AND

- PART 1-GEVERAL 101 RELATED DOCUVENTS
- A Affection is directed to Product hereby made a part of this Sect
  - 102 DESCRIPTION OF WORK
- A Extert of soll erosion and each metal B Related Work Specified Elsewhere 1 Section 02 41 00 Site Demolston
- A Secure soil erosion and sedme by local enforcement agency) 103 OUALITY ASSURANCE
- B. Wayne County Enforcing Agency (CEA), P.A. 451, Part 91 Soil Ension and Sedmentation Control of the Naura Resources and Environmental Protection Act and the Wayne County So Sedmentation Council Ordination Physics (2017) 759

- - PART 2 PRODUCTS
  - 201 WATER ALS
- ART 3 . EVECUTION
- A Comply with requirements of the Soll Erosion and Sec
- C Periodoaly remove collected sit and sedmentation as required or are implemented B Instal temporary erosion
  - 302 CLEANP
- A Remove temporary entation control measures at completion of directed by Architect to remain in place. Exercise caution durin of nearby drainage counses.

### Site Furnishings TION 32 33 00 - SITE FURN

PART 1 - GENERAL

- A Alterton is directed to General and Supplemental Conditions, hereby made a part of this Section 101 RELATED DOCUVENTS
- A Povide si labor, materals, repeasary equipment and servoes to Furnithings work as indicated on the drawings, as specified herein or dems specificarly indicated on TNC ITEVS'. 102 WORKINGLUDED

# Landsope Forms Greithen Serres Berch, Punic Table and Little Receptate Paniston - Pergolax Pergola S.2 Freesbanding 15x19 - see detail Seel Landscape Edging - Dura Edgin - see detail

- A Wandachrer's Data
- B Complete shop drawings for all dense of work under this section industry all dense of faboration and matalatom including tasks, the show, throngs, through an all of and all other relation works potential by the series of this section. 1 Descriptive data of in
  - 1 04 DEUVERY, STORAGE AVD HALDUNG
    - A Deiver al maleria's with manufacturer's tags and labels intac
      - B Cortractor shall load and transport the C Store and handle so as to avoid damage
- PART 2 PRODUCTS REFER TO PRODUCT SELECTION BOOK
  - PART 3 ENEOUTION
  - NOTALITATION ON ANALYAN NOT
- A Provide as indicated and detailed on the drawings, and as per specifications, instructions and recommendations.
- B Provide complete shop drawing and manuf, approval prior to ordering and delivery

endetired tems for

urer's standard printed

EVD OF SECTION 32 33 00

# Landscape Maintenance and

### SECTION 32 01 90 - LANDSCAPE MAINTENANCE AND WARRANTY STANDARDS **Warranty Standards**

### PART 1 - GENERAL

1.01 RELATED DOCUMENTS:

- hereby made a part A Attention is directed to General and Supplen of this Section.
  - 1.02 DESCRIPTION OF WORK:
- The requirements of this section include a one year warranty peri occeptance of installation
  - Related Work Specified Elsewhere.
- Section 32.91 13. Topsoil Section 32.92 19. Seeding Section 32.93 00: Trees, Shrubs and Ground Covers, Peremials
  - 1.03 ACCEPTANCE OF INSTALLATION.
- A ratio completion of all andicape installation, or pre-approved portions thereof, the condicape Control wait represent in which an intersection fram control of installation in which the Landscape Contractor. Owner's Representations are represent. After instancesion and power large many large how many Representations, their completion for power large and owner's Representations and in instance that a position and up and the static structure in the position and up and representations and in instance that a position and up and representations and in instance that a position and up and representations and in a large position and up and and static and representations and establish the appoint of the project warrandy period. If these is plant material base and statese contractor and in a large base for the appoint of the randscape Contractor was written represented up to the second and statese contractor and in a position of position the large states in the inspection of the report of the randscape Contractor and in the appoint of the report of the randscape Contractor and in the appoint and up to randscape Contractor and the inspection of randscape Contractor and in a randscape Contractor and report on a randscape Contractor and report on the randscape Contractor and report on the randscape Contractor and randscape Contractor and report to the Landscape Contractor during the none (1) replacement of dead plant material by the Landscape Contractor during the none (1) replacement of Representations provided work offered for a restatication and Representations provided work offered for a restatication is randscape. Contractor and reported randscape contractor rand

D. For work to be inspected for partial acceptance, supply a writter requesting acceptance of this work completed to date.

1.04 PROJECT WARRAWTY:

A Establish dense lawn of permanent grasses, free from larrys and depressions. Any stabilizing to show throm generitations one to be reserved, contrast and ferres lawn established. Damage to seeded area reacting from erosion to be repaired by Contractor. Scattered bare peops over 6 percent rot allowed.

A Refer to Section 32 01 90.

O7 WARRANTY:

PART 2 - PRODUCTS

201 MATERIALS:

C. Should the seeded favon become largely weeds after germination. Contractor responsible to Mil the weeds and research the proposed favon areas to produce a dense furf, as specified. Irrigation and watering required to establish a dence lawn is the responsibility of the Contraction.

1. Dig baled and burlapped plants with firm, natural balls of earth of sufficient diameter and depth to encompare the floors and effecting out system necessary for full necovery of the plant. Provide ball sites complying with the latest edition of the "American Standard for Nursery Stock". Cracked or much normal balls are not acceptable. 2 Provide tree species that makine at heights over 25-0° with a single, main truck. Trees that have the main truck forming a "Y" shape are not acceptable.

3. Trees to have day or day loam balls; sandy loam or sand balls are not acceptable.

Plants planted in rows shall be matched in form. (See specimen stock).

1. Plants larger than those specified in the plant fist may be used when acceptable to the Land vichitect.

6. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.

The height of the trees, specified by height, measured from the crown of the roots to the top of the op branch, shall not be less than the minimum size designated in the proposal form.

t. No pruning wounds shall be present with a diameter of more than 1° and such wounds must show 'gorous bask on all edges.

Evergreen trees shall be unsheared and branched to the ground.

Shrubs and small plants shall meet the requirements for spread and height indicated on the proposal form.

Cortainer-grown Stock: Grown in a cortainer for sufficient length of time for the root system have developed to hold its soil logether, firm and whole.

. No plants shall be loose in the container. . Container stock shall not be root bound.

The measurements for height shall be taken from the ground level to the average height of e top of the plant and not the knopest branch.

 Side kranches shall be generous, well trigged and the plant as a whole well bushed to the round. Single stemmed or thin plants will not be accepted.

6. Plants shall be in a moist, vigorous condition, free from dead wood, bruises or other root or branch infores.

C. Specimen Stock: All specimen designated plantings are to be nursery grown, fully developed, excellent quality and typical example of the species. Plantid designated to be planted in ross must be matched, symmetrical and uniform in height, spread, caliper and branching deristy.

. Matched plartings should be obtained from same nursery and, preferably, from same row or na. All specimen material will be approved by Landscape Architect at nursery. D. Topsoil for Planting Mic. Refer to Section 32 91 13 and 32 91 19.

 Provide ASTM D 2607 sphagnum peat moss with a PH below 6.0 for ericaceous plants E. Peat Moss: Brown to black in color, weed and seed free granulated raw peat.

. Plarting Mortue Type A: Standard plarting backfil shall be a minhue of 113 lopsol, 113 and and 113 peatper cubin yard of minhue. Add fentilizer Type 'A' to planting minue per unufacturer's requirements. Follow planting details.

e indicated. Larger stock is acceptable, at back to size indicated.

3. Planting Michue Type B (for Flowers, Ground Cowe Beds, Ericaceous Plants and Omamental Grasses): Planting bashfill shall be a michue of 1(3 logsol, 1/3 send and 1/3 pea Addrg fertižert type 'B' to michue per manufacturer requirements. Follow planting details.

Plant Ferlützer Type A. "Scotts Pio Grow 18-3-6 landscape ferlützer plus minors, applied ser manufacturer's recommendations.

. Plant Fertilizer Type Br. Approved acid-base fertilizer, "Espoma Holly-Tone". 4:64 applied ver manufacturer's instructions.

Superphosphate: Composed of freig ground phosphate nock as commonly used for spricultural purposes containing not less than eighteen 18% percent available phosphorio soci. Apply as required based upon soil test report.

Lime: Ground dolomitic limestone, ninety-fine (95%) percent passing through #100 mesh resen. Use adjust soil pH only, under direction of Landscape Architect or based upon soi streep.

Sand: Clean, coarse, ungraded conforming to ASTM C 3 for fine aggregates.

M. Arti: Desiciant: Protective film emulsion providing a protective film over plant surfaces, permeable to permit transpiration. Mixed and applied in accordance with manufacturer's instructions.

N. Stredsjed hardwood Bark Nućer. Clean, free of debrië and sticks, and well aeraked. Materias shall be unform in size, shape and lexture. Submit samples to owner for approv prior to installation.

Water. Free of substances harmful to plant growth. Hoses, water truck, or other methods of transportation furnished by Contractor.

Thee Whep: Standard water provided thee wrapping paper, 2-162' wide, mode of 2 layers of theore frait paper weighing not less than 30 this, per ream, commended together with asphalt.

Q. Twine: Two-ply jute material.

PART 3 - EXECUTION **3.01 EXAMINATION** 

covering to prevent windburn

A Examine proposed planting areas and conditions of installation. Do not start planting work until unsatisfactory conditions are corrected.

3 02 PREPARATION

A Time of planting

I. Evergeen material. Plant evergeen makrials between August 15 and October 15 or in spring before ner growth begins. It project repairments and every a planting at other times, plant shall be sprayed with and desistant provido planting operations.

2 Deciduous material. Plant deciduous materials in a dormant condition. If deciduous tree: are planted in-lead, they shall be sprayed with an anti-dessicant prior to planting operation.

B. Protect existing utilities, paving and other facilities from damage caused by landscaping operations.

3. Planting times other than those indicated shall be approved by the Architect. C. A complexe fist of plants, including a schedule of sizes, quantities and other requirements in shown complex proposal form. In the event that quanty discrepancies or meaning in the scheme of the proposal form. Contractor shall nody the Landscape Architect during the proposal biology process.

A Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

2. Planting pits shall be round, with vertical sides and flat bottoms and sized in accordance with volines and dimensions shown on the planting details. Individual plant locations shall be started on the project size by the Contractor and approved the Landscape Architect test can project project project and the project stresserves the shaft of the tart maketal locations to meet field constitons, without addronal cost to the Onnix.

Accurately stake plant material according to the drawings. Stakes shall be above grade and inted a kright color to be drearly visible for inspection.

E. If obstructions are encountered that are not indicated, do not proceed with planting operations until administry plant locations have been existed and agrowed in writing by the Landscape Addited. Where locations or spacing dimensions are not clearly shown, request clarification by the Landscape Activities. F. See drawings for planting details. Vegetation Removal: A Plarts: Provide plants typical of their species or variety, with normal, density developed branches and vigorous. (through node systems: Provide only sound.) hashlyt, vigorous plants free form defects, defogring hords, surrescald injuries, final cracks, abraisment of the bark, plant deseases, interd legts, hores and all forms of infestision. All plants shall have a May developed form without voids and open species.

Strip existing grass and weeds, including roots, from all bed areas, till and fine grade existil topsoli, leaving the soil surface one inch below finished grade (in areas shown on plan).

C Excavale circular plant pits with vertical soles, except for plants specifically indicated to be plants teels. Provide plant pits a perturb getails. Depth of plants all accommodate the root system. cardy the action of the plant be a depth of 4". 3.03 INSTALLATION:

B. Provide pre-mixed plarting mixture Type "A" for use around the baits and roots of all deciduou everygeen tree plartings.

C. Beds for Ground Cover, Flowers, Ericaceous Pants and Ornamertal Grasses: Excavals existing solls of 2 depth over crite bed area and remove soll from site. Set plants according to drawings an abold first bed with pre-existed participa Tripe <sup>1</sup> Type <sup>1</sup><sup>1</sup>/<sub>2</sub>.

D. Mass Shoub Bederheide Beds: Exercise existing solid S dipth over entire bed area and remove solid non-site. Scarab protom of the solid on 4 dipth. Sel phate according to dravings spece and backfill entire bed with (permission) specified planting mixture Type YL:

E. Planting

Set plant material in the planting pit to proper grade and alignment. Set plants upright, plantb and tasked to prove the test appearance or testionthy to early other or adjacent plant.
 Marcella P. 27: above the firsh grade. To filling write fermitised a could burk or stems. Early filling plantby the rest appearance or testion rest to filling write fermitised as early of solid second the edge of each planting to rest. The rest of the rest.

After bailed and buildspeed plants are set, water-in and muddle planting soil mixture around bases It bails and fill all voids. Sufficiently compact to prevent settlement.

3. Remove all burlap, ropes and wires from the tops of balls.

4. Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to every fil plants plack with indicated quarkity of plants. Flant to within 12 of the turks of these an indicativity file plants bed and to within 6 of edge of bed.

6. Water immediately after planting. Contractor shall not install plant material without adequate was source on site. Establishing a source for water is the Contractor's responsibility. Spread and arrange roots of bare-rooted plants in their natural position. Work-in planting mintur Do nol mat roots together. Cut all broken and frayed roots before installing planting minture.

F. Mulching:

Much these and strub planting pits and strub texts with required muching material 3" deep immediately after planting. Throughly water muched areas. After watering, rate much to provide unform fitted earliese.

. I inspect trees for injury to trurits, evidence of insect infestation and improper pruning before viapping. G. Wrapping, Guying, Staking:

 State all trees prior to mulching. Trees shall be stated with Tomahavk Tree Stabilization system as identified on plansidetails. Install tree states per manufacturer's specifications. 2 Whap trunks of all trees spirally from bottom to top with specified tree wrap and secure in plac

H. Pruning:

1. Prune branches of decisious stock, after planting, to balance the loss of roots and preserve the instand character sproprode to the particularity fault requirements. Remove or cut back broken, stranged and unsymmetrical growth of new wood.

2. Multiple leader plants: Preserve the leader which will best promote the symmetry of the plant. Cut xanches flush with the branch collar. Make cut on an angle.

3. Prune evergreen trees only to remove broken or damaged branches.

3.04 MANTENANCE:

Refer to Section 32 01 90.

105 CLEANING:

A Perform cleaning during installation of the work and upon completion of the work. Remove from the all excess materials, soil, detrie and equipment. Repair damage resulting from planting operations

END OF SECTION 32 93 00



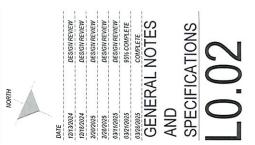
Detroit Collaborative Design Cente

BRIDGING COMMUNTES BRIDGING COMMUNTES Prylis Edwards Essantine Director Prylis edwards(Doddyngar 2013 History

Hared Fanot Franh-Gutrery ets Lan Miles Pore norsy/Gutrery ets LEAD DESIGN TEAM Charles Crus Projed Warage cruss@drary edu

CONTRACTOR

### INNWWO BRIDGING



# Seeding Specification

SECTION 32 92 19 - SEEDING PART 1 - GENERAL

1.01 RELATED DOCUMENTS:

A. Attention is directed to Bidding and Contract Requirements, and to General and Supplemental Requirements, which are hereby made a part of this Section.

1.02 DESCRIPTION OF WORK

A. Extent of seeded lawns is shown on drawings and by provision of this Section

B. Types of work required includes the following

Sol preparation
 Seeding lawns
 Mulching

C. Related Work Specified Elsewhere.

Section 32 91 13. Topsol Section 32 93 00. Trees, Shrubs and Ground Covers Section 32 01 90. Landscape Mairtenance and Warranty Standards

1.03 SUBMITTALS:

certage by weight and A. Submit seed vendor's certification for required grass seed mixture, indicating parc percentages of purity, germination and weed seed for each grass species.

1.04 DELIVERY, STORAGE AND HANDLING: B. Fertilizer certification

A Defiver seed and fertilizer materials in original unopened containers, showing weight, analysis and name of manufacturer. Store in a manner to prevent weiting and deterioration.

1.05 PROJECT CONDITIONS:

A Work notification: Notify Landscape Architect at least 7 working days prior to start of seeding operation

C. Perform seeding work only after planting and other work affecting ground surface has been completed. B. Protect existing utilities, paving and other facilities from damage caused by seeding operations

D. Provide hose and lawn watering equipment as required.

1.05 WARRANTY:

A. Refer to Section 32 01 90.

PART 2 - PRODUCTS

2.01 MATERIALS:

A. Topsoil for Seeding Lawn Areas: Refer to Section 32 91 13 and to drawings

B. Ghphosate Based Herbicide:

 Seed: Fresh, dean and new crop seed mixture. Mored by approved methods. Seed shall be TURF Type Tall Fescue or approved equal, applied at the rate of 7 pounds per 1000 square feet. C. Composed of the following varieties, mixed to the specified proportions by weight and tested to minimum percertulase of purity and germination.

D. Ferlifzer. 10-10. Grandar, non-burning product composed of not less than 50% organic stive acting, guardeed analysis, professional ferlifzer. Ferlifzer shall be applied at the rate of 10 pounds per 1000 guardeed.

E. Geourd Trreetone: Use firequired by solitest report. Containing not less than 65% of total carbonates and gound to receive finances that 50% will pass through a 100 meth serve and 90% will pass through a 20%

F. Granulated suffur 0-0-0-90 to lower PH. Use if determined by soil tests to be necessary. Apply per soil test recommendations at specified rate.

H. Water. Free of substance harmful to seed growth. Hoses or other methods of transportation furnished by Contraction. Test for excess Alfanity, if necessary. G. Straw mulch: Clean only wheat straw, or bailsy well seasoned below bailing, fee from makine seed-searing statists or mode of pochibied or modous weeds. Loose mulch shall be and/ored in place by crimping in this quark shall be used.

PART 3 - EXECUTION

A Landscape architect must approve finish surfaces, grades, topsoil quality and depth. Do not start seeding work until unsatisfactory conditions are corrected. 3.01 EXAMINATION

3.02 PREPARATION OF SEEDED LAWIN AREAS:

A. Limit preparation to areas which will be immediately seeded.

B. Loosen topsol of lawn restoration areas to minimum depth of 4". Remove stores over 1" in any dimension and sticks, tooks, nuckish and extraneous matter.

C. Add topsoil if necessary, and grade lawn areas to a smooth, free draining even surface with a bose, moderately coarse tenture. Roli and rake, remove ridges and fill depressions as required to drain.

Apply amendments to supplied topool, if required by soil test report, at risk determined by the soil test, to adjust pH of topool.
 De adjust pH of topool.
 De

E. Apply fertizer to indicated furf areas at a rate of 10 lbs. per 1,000 sq. ft. Omit this process if applied with hydroseeding process.

F. Apply fertizers by mechanical relaty or drop type distribution, thoroughly and evenly incorporated with used loss adjusting the provided method. Faritize areas inaccessible to prever equipment and loss and incorporate into soit.

G. Restore prepared areas to specified condition if eroded, settled or otherwise disturbed after fine grazing and prior to seedra.

A Seed laws only between April 1 and July 1 and fall seeding between August 15 and October 15 or at such other times acceptable to Architect. 3.03 INSTALLATION:

B. Seed immediately after preparation of bed. Seed indicated areas within contract limits and areas adjoining contract limits disturbed as a result of construction operations.

Perform seeding operations when the soil is dry and when winds do not exceed 5 miles per hour velocity.

D. Apply seed with a rotary or drop type distributor. Install seed evenly by sowing equal quantities in 2 directors, all right angles to each other.

E Sow seed at the seeding rate specified by the manufacturer.

F. After seeding, raise or drag surface of soil lightly to incorporate seed into top 1/8" of soil. Roll with Light have roled:

3.04 MULCHING:

A Place straw mulch on seeded areas within 24 hours after seeding.

B Place straw much unformly @ rate of (2) 60 b, belies per 1,000 sq. ft. of area. A mechanical blower may be used for straw much application when acceptable to the Architect.

E. Contractor shall provide water source for planting Crimp straw into soil by use of a "crimper". Two passes in opposite direction required.

execution.

3 05 LAWN ESTABLISHMENT

B. In event cortractor does not establish dense lawn during germination period. Cortractor responsible to return to project to refertilize and reseed to establish dense lawn.

3.07 CLEANING:

 Perform clearing during installation of the work and upon completion of the work to the period of the Partners. Remove from take all evenes materials, define and equipment, period all mapper reaching form execting operations. Clear all a reas where overspray has control from hydroseefing operations. END OF SECTION 32 92 19

### Groundcover Specifications Trees, Shrubs and

SECTION 32 93 00 - TREES, SHRUBS AND GROUND COVERS PART 1 - GENERAL

1.01 RELATED DOCUMENTS:

A Attention is directed to Bidding and Contract Requirements, and to General and Supplemental Conditions hereby made a part of this Section.

A Extert of trees, shrubs and ground covers is shown on drawing and by provisions of this Section 1.02 DESCRIPTION OF WORK:

B. Types of work required include the following:

Soil preparation
 Trees, shrubs and ground covers Planting mines
 Much and planting accessories
 Soil percolation tests

C. Related work specified elsewhere.

Section 32 91 13. Topsol Section 32 91 19. Seeding Section 32 01 90. Landscape Maintenance and Warranty Standards

1.03 QUALITY ASSURANCE:

A Pleart names indicated, comply with "Standardized Pleart Names" as adopted by the lakest test configure memory with memory of thickness I homenolature. Names of variaties not test conform generally with meas accepted by the musery trade. Provide stock the to botancial name and legibly leaged.

B. Comply with sizing and grading standards of the latest edition of "Arreview Standard for Mursery Stock". A plant shall be dimensioned as it stands in its neural position.

0. All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

D. Stock furnished shall be at least the minimum size no additional charge. Larger plants shall not be cut t

F. Such approval shall not impair the right of inspect or during the progress of the work.

on and rejection upon delivery at the site

G. Provide percolation testing by filing plant pits with water and monitoring length of time for water to completely percolable into soil. Notify Landscape Architect at least 43 hours prior to secation testing.

1.04 SUBMITTALS:

A Submit the following malerial samples:

Shredded bark mu'ch
 Topsoil
 Grass Seed Mix

B. Submit the following materials certification

1. Topsoil source and pH value 2. Plant fertilizer

1.05 DELIVERY, STORAGE AND HANDLING:

A Definer fectilizer materials in original, unopened and undamaged containers showing weight, analysis and name of manufacturer. Store in manner to prevent wetting and deterioration.

B. Take all precardons customary in good trade practice in preparing parts for moring. Without the processing trade of the optical system system and processing the precard reduction parts in blogge with an expression attraction to the precision attraction attract

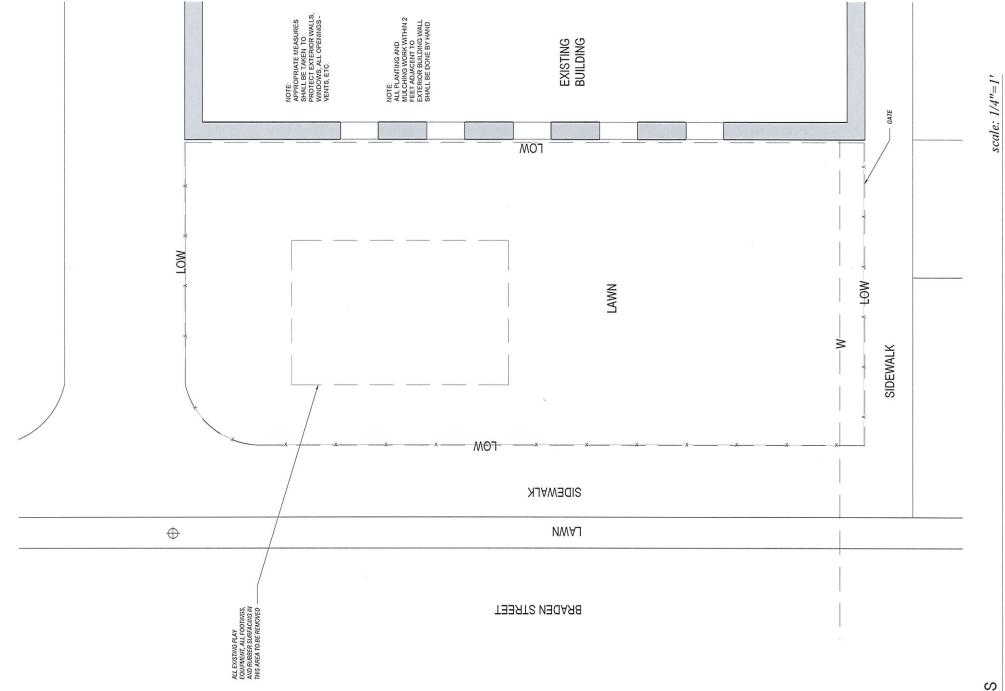
C. Cover plants transported on open vehicles with a p D. Frozen or muddy topsoil is not acceptable.

1.06 PROJECT CONDITIONS:

A Work Notification: Notify Architect at least 7 working days prior to installation of plant material.







**TEXISTING CONDITIONS AND UTILITIES** 

### **EXISTING CONDITIONS AND** UTILITIES LEGEND

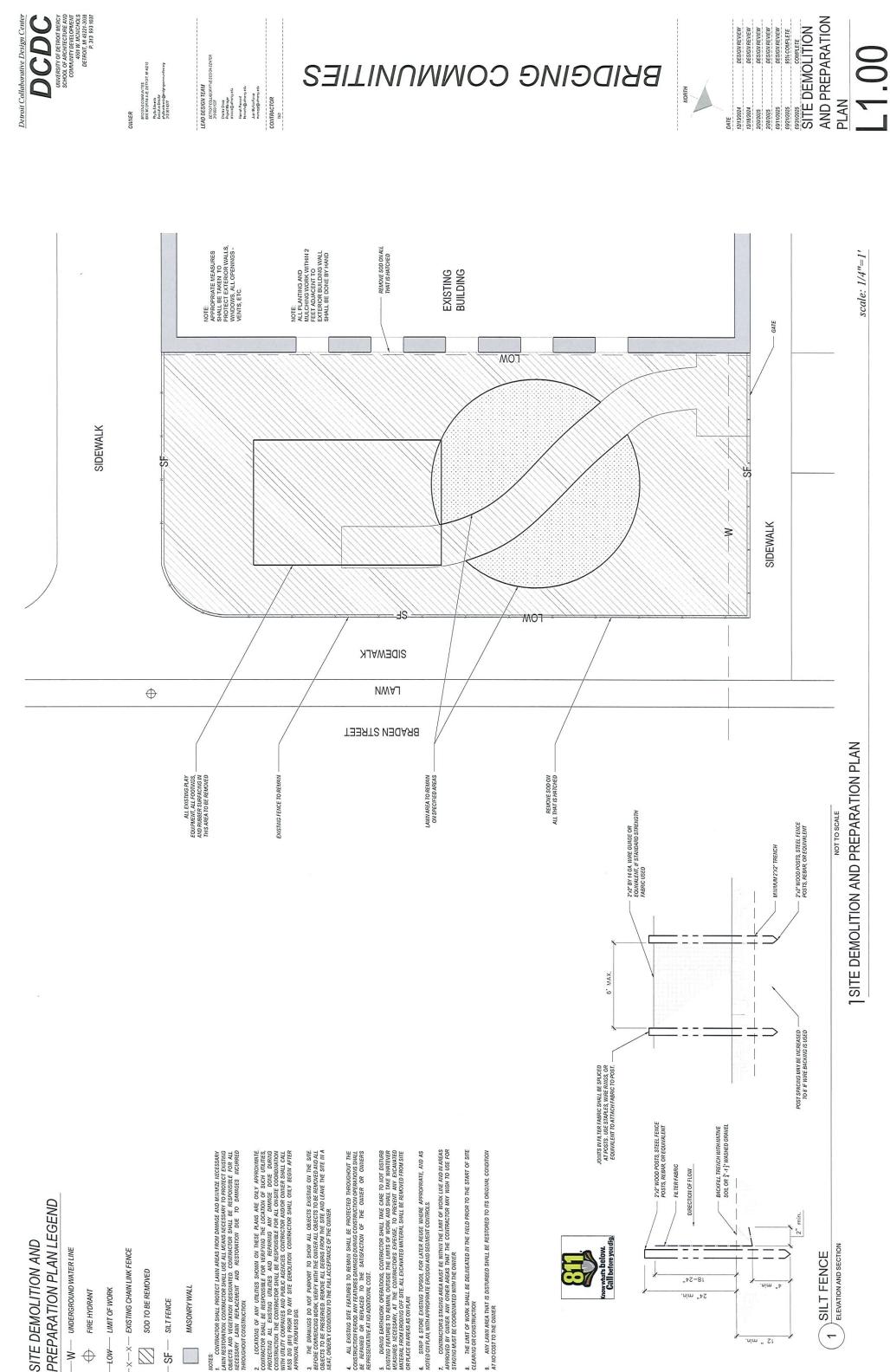
LINE	
VATER	
I DNNC	
UNDERGRO	
$\overline{ }$	

FIRE HYDRANT  $\oplus$ 

-LOW LIMIT OF WORK

NOTES.
 C. COTRACTOR SHUL PROTECT ALL FREES AND LWIN AREAS FROM BAUKGE AND MANUALE RECESSART LAWIN RESTORATION CONTRACTOR SHULL USE AND MANUER INCERSART TO PROTECT DISTING DELECTS AND VEGETATION DECATION OF SUCH UTLINES PROTECTION THE CONTRACTORS AND CONTRACT CONTRACTORS OF ANT UTLINES AND PROTECTION OF SUCH UTLINES PROTECTION THE CONTRACTORS AND ADDRESS AND EVALUATE RESTORATION WILL UNTER PROTECTION PROTECTION OF SUCH UTLINES PROTECTION ALL DISTING ADDRESS AND RESTORATE CONTRACTORS AND CONTRACTORS AND CONTRACT CONTRACTORS AND ADDRESS AND WITH UTLINES AND ADDRESS AND RESTORATION AND ADDRESS ADDRESS AND ADDRESS ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS AND ADDRESS ADD

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### **PREPARATION PLAN LEGEND** SITE DEMOLITION AND

¢

	LIMIT OF WORK	EXISTING CHAIN LINK FENCE	SOD TO BE REMOVED	SILT FENCE
)	-TOM	-x-x-	$\square$	– SF –

NOTES:

2. LOCATIONS OF AIN' UTILITIES SHOWIN ON THESE PLANS ARE ONLY APPROXIMATE CONTRACTOR SHULL BE RESENSIBLE FOR VERFYION AND FE CONTROLOT OF SUCH TUTLIFES, FOOTERING ALL EXCETING UTILITIES AND REPRINIS AIN' DAMAGE DONE DURING CONSTRUCTION THE CONTRACTOR SHILL BE RESPONSIBLE FOR ALL ONLIGE DURING CONSTRUCTION THE CONTRACTOR SHILL BE RESPONSIBLE FOR ALL ONLIGE DURING WITH UTLITY COMPANES AND PUBLIC AREINCIES CONTRACTOR ANDOR OWNER SHALL DALL WITH UTLITY COMPANES AND PUBLIC AREINCIES CONTRACTOR ANDOR OWNER SHALL DALL ANTHOR DATION CONTRACTOR AND OWNER SHALL DALL APPROVIL FROMMASS DIG.

3. THE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXSTING ON THE SITE BEFORE COMMENCIANG WORK VERAY WITH HE OWNER ALL OBJECTS TO BE RELIVITED AND ALL ODJECTS TO BE PRESERVED REMOVE ALL DEBORS FROM THE SITE AND I.E.A., OBDER'Y COMMONTO THE FULL ACCEPTIANCE OF THE OWNER.

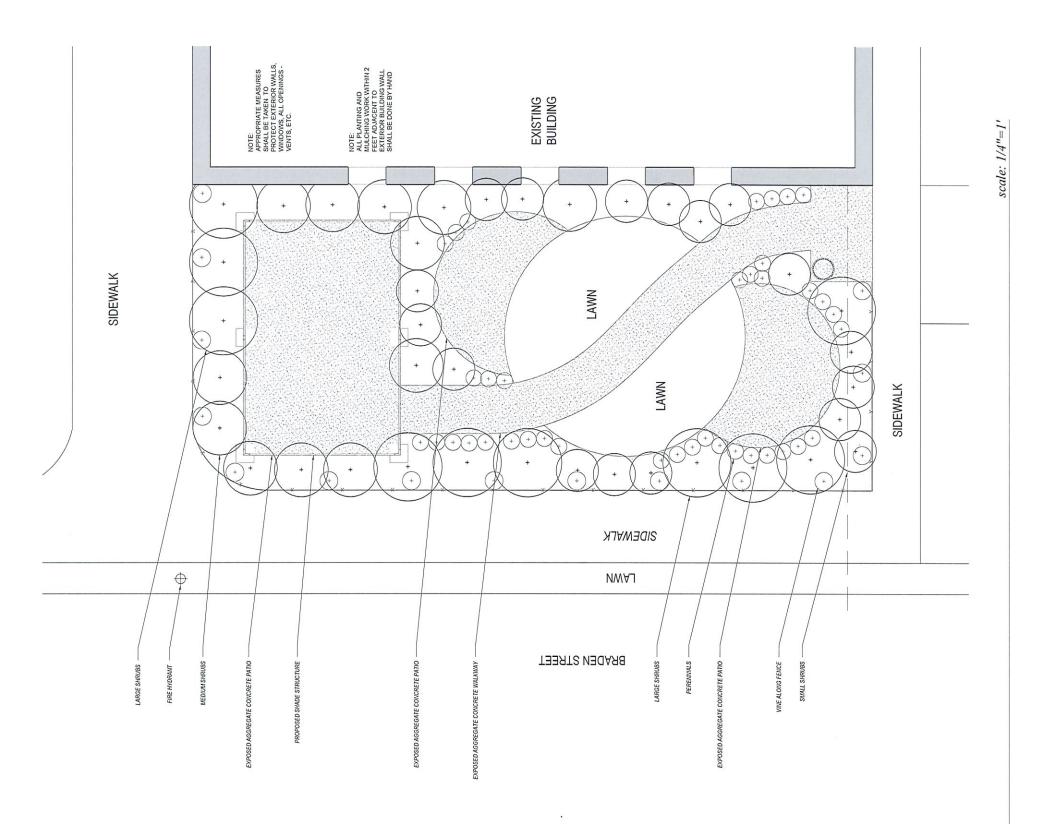
5. DURING EARTHINGKK OPERATIONS, CONTRACTOR SHULL TAKE CARE. TO NOT DISTURB EXISTING FEATURES TO RELAVILY OUTSIGE THE LUNTS OF WORK AND SHULL TAKE WATEVER HEASURES RECESSARY, AT THE CONTRACTORS EXPENSE, TO PREVENT ANY EXCANTED MICENARE RAN FROM SOFTS THE LUL EXCANTED MATERIAL SHULL BE REMOVED FROM SITE OR FLACE IN AREAS AS ON PLAN

THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PROR TO THE START OF SITE CLEARING OR CONSTRUCTION

ANY LAWH AREA THAT IS DISTURBED SHILL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.







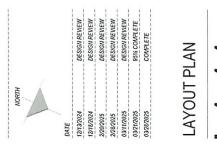
**JPROPOSED SITE PLAN** 

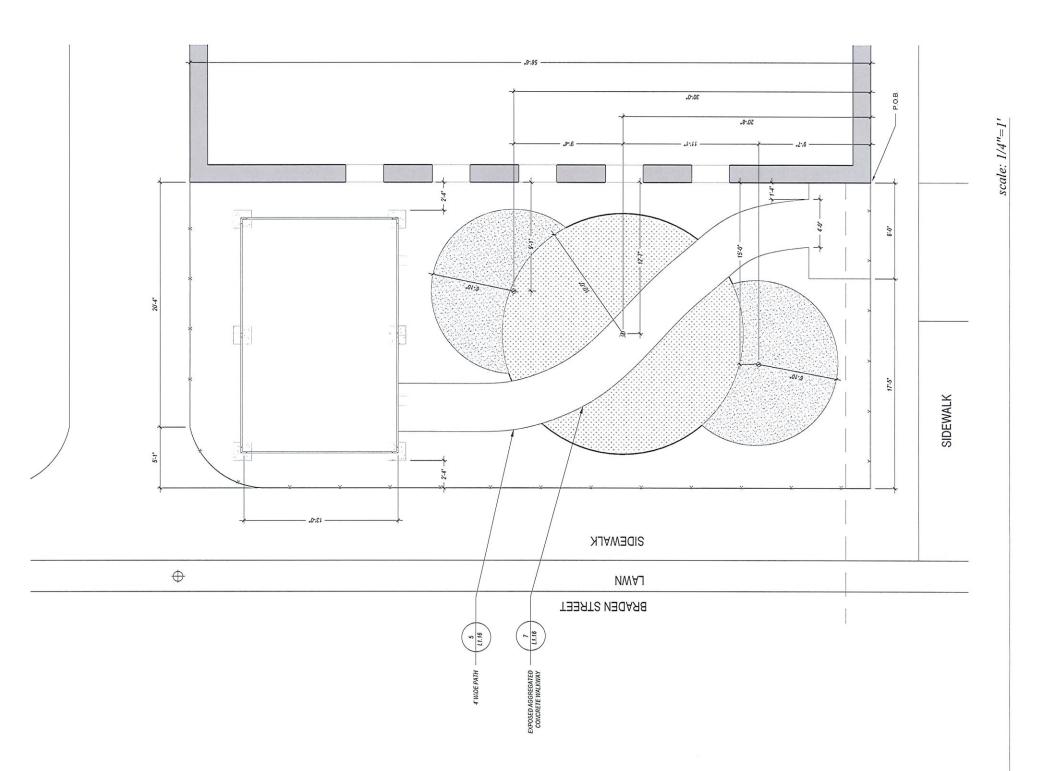
# **PROPOSED SITE PLAN NOTES**

- THE CONTRACTOR SHALL VERFY AND FAVLMARZE THEASELVES WITH THE RESISTING STER COMOTIONS AND THE PRODOCED SCIP COPE OF INCLUNISO DIFFERSIONS, LAYOUT, ETCJ, AMD STEBBUIT A FROJECT WORK RALIT TO THE OWNER OR OWNERS REPRESENTATIVE FOR REVIEW AND COMMENT PROOF TO THE OWNER OR OWNERS REPRESENTATIVE FOR REVIEW AND COMMENT PROOF TO THE OWNER OR OWNERS REPRESENTATIVE FROM THE TWEESE BOCUNETTISS SHOULD AND THE PRODOSED WORK THE CONTRACTOR SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVE FROM THE CONTRACTOR SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVE FROM THE CONTRACTOR SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVE FROM THE CONTRACTOR SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVE FROM THE FROM THE START OF CONSTRUCTION
  - THE CONTRACTOR SHALL OBTAW ALL NECESSARY LOCAL, STATE AND TEDERAL PERMIS AND TENRURE THAT ALL RECURSE DAPPONALS HAVE BELIO OBTAWED PRORY TO THE START OF CONSTRUCTION COPES OF ALL RECURSE DEPENDING DEPENDALS SHALL DE REVIEW AND DEPENDE SHALL COUPLY WITH ALL APPLICARE CODES RECURRENTENT AND RECULATIONS. 2
- PROR TO THE COMMENCENER OF WORK, VERFY LOCATIONS AND DEPTHS OF ALL WUDRERGOUD UTULIZES THAT MAY BE AFFECTED BY CONSTRUCTION BY CONTACTING MISS DIG 811. THE CONTRACTOR SHALL TAKE RESPONSELITY FOR DAWAGES TO SUCH UTULITES CAUSED AS A RESULT OF CONSTRUCTION. e
- THE CONTRACTOR SHALL NOT DEVATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IM WRITING BY THE OWNER OR OWNERS REPRESENTATIVE. 4
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION. 5.
- ТНЕ СОЛТRACTOR SHALL NOT FERGRA AIN WORK OR CAUSE DISTUBATIOR CONTRACTE POPERTNOT CONTROLLED BY THE FERSON OR EMITY WHO HAS AUTHOREED THE WORK WITHOUT PROR WRITEN CONSENT FROM THE OWNER OF THE FRAVATE PROPERTY. 9
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERNED STRUCTURE AND IS THEORYTIED TO RELAIN UT THE ANN ISET, ALL REPAIRS SHALL USE LEWI MATERIALS TO RESTORE FEATURE TO TIS EXISTING CONDITION AT THE CONTRACTORS EXPENSE. 7.
    - соитрыстоя із левооуване то рядилов тие дорядорямите внор рамимися, рядоцост рата, алд отнея ресоигер submittues for Revent owner он олигася Representative will revent the submittues in locordanice with the deskin within as reflected within the plun set. ŝ
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE LOCAL ORDIVANCES AND WITH THE MANUAL ON UNFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. 0
- ТНЕ СОИТРАСТОЯ ІЗ REOURED TO PERFORM ALL WORK IN THE PUBLIC RISHTOF-MANN IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY NA SMALL BE RESPONSIBLE FOR THE PROCURELETIT OF STREEF OPENING PERMINS. 10.
- THE CONTRACTOR IS REQUIRED TO FOLLOW ALL OSHA SAFETY REGULATIONS ON SITE AT ALL TIVES DURING CONSTRUCTION & DEMOUTION ACTIVITIES. 11.









**J**LAYOUT PLAN

## LAYOUT PLAN LEGEND

AYOUI PLAN LEG	EXPOSED AGGREGATE CONCRETE	CONCRETE	TANN	MASONRY WALL	FIRE HYDRANT
LAY					¢

Incluind NOTES. NOTES. I. CONTRACTOR SHULL PROTECT ALL DESIGNATED TREES AND LAWN AREAS FROM I. CONTRACTOR SHULL USE ALL NEWS INCLEASEARY TO PROTECT EXISTING OBJECTS AND VEGETATION DESIGNATED.

2 LOCATIONS OF ANY UTLATIES SHOWN ON THESE PLANS ARE APPROVANTE ONLY CONTRACTOR SHUL BE RESPONSEL FOR VERPANG THE LOCATION OF SUCH UTLATES PROFEDING ALL DOSTING UTLATIES AND REPARAM ANY DAMAR DOSTING PROFENDED THE CONTRACTOR SHULL BE RESPONSELE FOR ALL ONLYRE COORDINATON WITH UTLATTC COMPARENT SHIP PREUC ARENCES CONTRACTOR AND OR OWNER SHULL CALL WITH OWNER COMPARENT AND PREUC ARENCES CONTRACTOR AND OR OWNER SHULL CALL WITH OWNER COMPARENT AND PREUC ARENCES CONTRACTOR AND OR OWNER SHULL CALL MARRAUTER COMPARENT AND PREUC ARENCES CONTRACTOR AND OR OWNER SHULL CALL ARENCES DISTINGTION ON THE DEMOUTION CONTRACTOR AND OR OWNER SHULL CALL APPROVAL FROMMESS DIS.

3. THE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING ON THE SITE DEFORE CONFICUENTION VERY WITH THE CONFIGE ALL OBJECTS TO BE RELAVICE AND ALL OBJECTS TO BE PRESERVED RELAVICE ALL DEBRAS FROM THE SITE AND LEAVE THE SITE II A INEAT, ORDERLY CONDITION TO THE FULL ACCEPTANCE OF THE OWNER.

4. ALL EXSTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION FEROL ANT RETAILRES DAMAGED DURING CONSTRUCTION OF PRANCING SHALL BE REPARED ON FERLALCED TO THE SATISFACTION OF THE OWNER OR OWNERS REPARESENTATIVE AT NO ADDITIONAL COST.

5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHULL TAKE CARE TO NOT DISTURB EXERNIC FEATURES TO RELIARL OUTSIDE THE LIMITS OF WORK AND SHULL TAKE WHATEVER MEASURES IN FEESSARY, AT THE CONTRACTOR SEVENISE, TO PREVEN ANY EXCANATED MEASUREML FROM EFFORMS, OF FILE ALL EXCANATED MATERIAL SHULL BE REMOVED FROM SITE OR PLACE INAREAS SO VIPLAL.

c CONTRACTORS STAGNO AREA MUST BE WITHIN THE LIMIT OF WOOK LINE AND IN AREAS APPRIADED BY OWINER AINER THEAT THE CONTRACTOR MAY WISH TO USE FOR STAGNIAM MAST BE CONDUMED WITH THE DOWIER

THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.

8 ANY LAWA AREA THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.

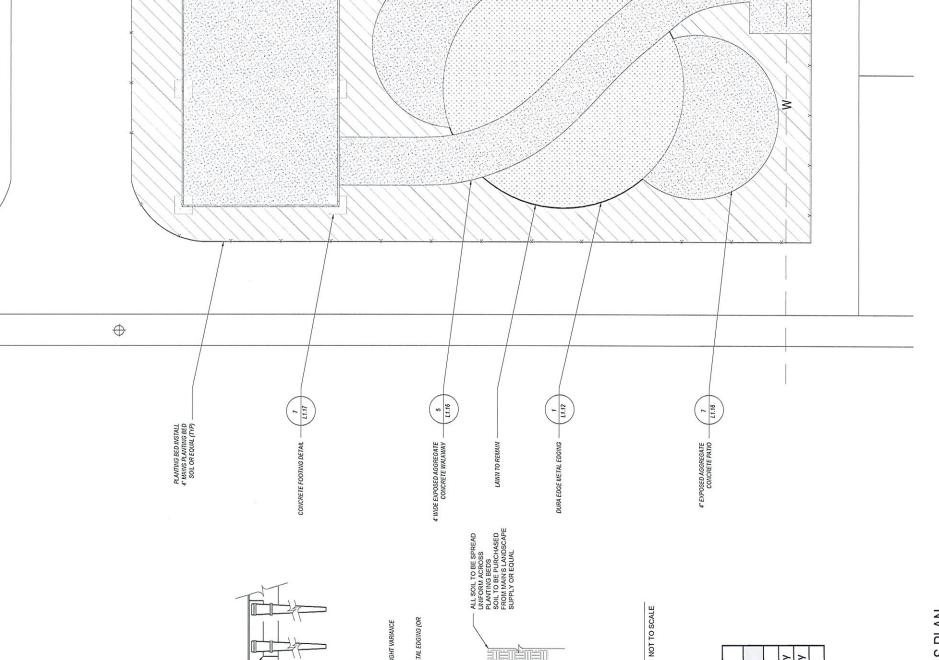
9. ALL MEASUREMENTS SHALL BE VERIFIED IN FIELD.



Annual Control of State Stat	LEAD DESIGN TEAM DEFINITION DESIGN CENTER 19 19 19 19 19	Charles Crus Project Warapar crussing diverge edu	Harvah Francel Francho@udnety edu	Les Weighter nachfighters eis	CONTRACTOR
	LEAL				COW



— DURA EDGE METAL EDGING 4" EXPOSED AGGREGATE CONCRETE PATIO 4" EXPOSED AGGREGATE CONCRETE PATIO LAWN TO REMAIN EXISTING BUILDING 11.16 1 L1.16 L1.12 scale: 1/4"=1' 3



3.\* x 4" DURAEDGE NETAL EDGING (OR EQUAL) NOTE. ALLOWABLE HEIGHT VARIANCE NO MORE THAN<sup>‡</sup>\*

PLANTER BEDS

16° STAKES

**1** MATERIALS PLAN

# MATERIALS PLAN LEGEND

					FLUSH OVERLAP JOINT ASSEMBLY	R RETAL, OR EQUAL	PUNCHED SLOTS, 30" O.C		8	16° STAKES			
EVPOSED AGGREGATE CONCRETE CONCRETE FOOTING	LANNI	PLANTING BED	🔶 ғие моилт	GENERAL NOTES	<ol> <li>PROVIDE FURNISHINGS, SPECIFIED PRODUCTS AND MATERIALS AS INDICATED AND DETALED ON THE DRAMINGS, AND AS PERMANUNACTURERS STANDARD PRIVITED SPECIFICATIONS, INSTRUCTIONS AND RECOMMENDATIONS ON THE FLAN</li> </ol>	<ol> <li>CONTRACTOR SHALL COVELY WITH ALL APPLICABLE REQUREMENTS, CODES AND OTHER PUBLIC AGENCIES HAWNS, UNSUDCTOON ON THE NORK, CONTRACTOR SHALL NOT COMMENCE VORK UNTH ALL CONDITIONS AND REQUREMENTS OF APPLICABLE PUBLIC AGENCIES ARE COVIENT IN MITH.</li> </ol>	CONTRACTOR SHALL PROVIDE ALL LABOR, LATERALS, NECESSARY EQUIMENT AND SERVICES TO CONTLETE THE SITE FURNISHINGS AND MATERALS WORK, AS INDICATED ON THE DRAWINGS, SECURED HEREIN OR BOTH, EXCEPT AS FOR ITEAS SPECIFICALLY KUNCHTED ON "VIGITARIS".	<ol> <li>THIS WORK SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING ITEMS: BENCHES, CONCRETE BENCH PADS.</li> </ol>	<ol> <li>CONTRACTOR SHALL DELIVER ALL MATERIALS WITH HANNEACTURERS TAGS AND LABELS INTACT.</li> </ol>	<ol> <li>CONTRACTOR SHALL LOAD AND TRANSPORT ANY OWNER SUPPLED SITE FURNISHINGS TO THE SITE</li> </ol>	<ol> <li>The contractor shall store and havale all furnishnes and naterials so as to avoid davage.</li> </ol>	CONTRACTOR SHULL PROVIDE WORKMISSIP AS KIRCATED AND DETALED ON THE DRAWINGS, AND AS PER MAUNFACTORERS STAUDARD PRIVIED SPECIFICATIONS, INSTRUCTIONS AND RECOMMENDATIONS.	



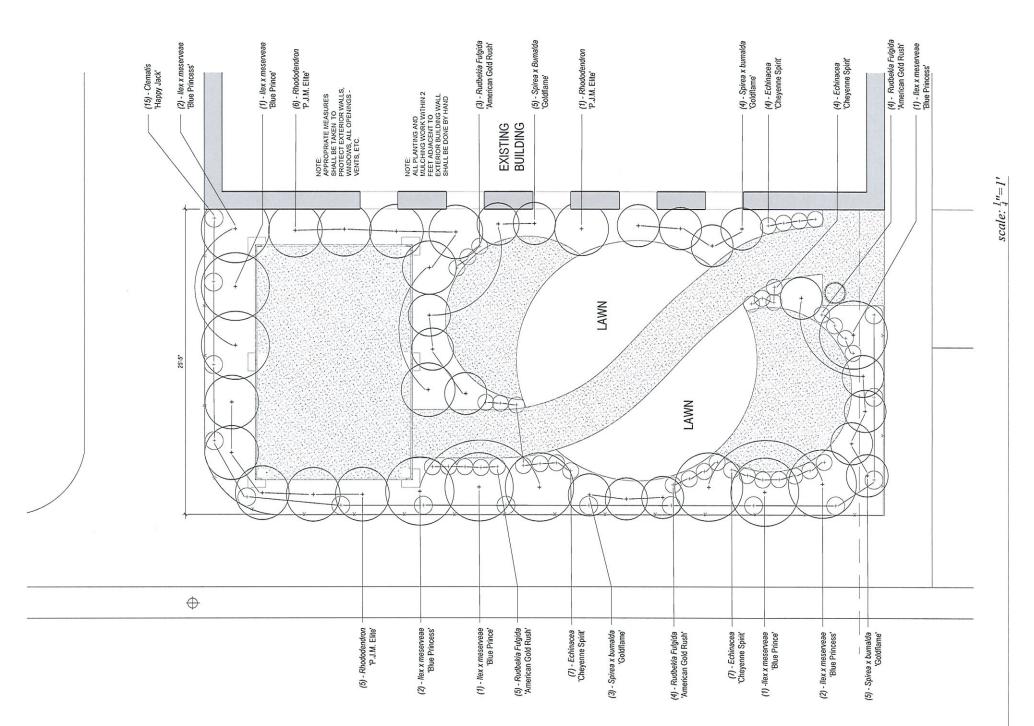
	Materials Source	Cu Yd Exposed Aggregaate Concrete	I-Planting Mix Main's Landscape Supply	redded Bark Main's Landscape Supply	ncrete Footings -
edule		Exposed Aggrei	Cu Yd Soil-Planting Mix	Cu Yd Shredded Bark	Cu Yd Concrete Footings
ls Sche	Unit	Cu Yd	Cu Yd	Cu Yd	Cu Yd
Materials Schedule	Quantity	8	7	9	2



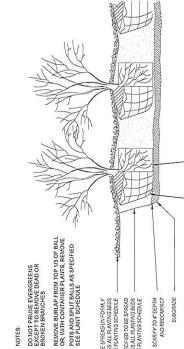
CONTRACTOR

### **BRIDGING COMMUNITIES**





**JPLANTING PLAN** 



NOT TO SCALE

Source	Size
Landscape Supply Inc.	#5
Landscape Supply Inc.	#3
Landscape Supply Inc.	# 2
Landscape Supply Inc.	#5
Landscape Supply Inc.	#1
Landscape Supply Inc.	#1

#1

Landscape Supply Inc.

1 SHRUB BED PLANTING

# PLANTING PLAN LEGEND

🕀 ЕІВЕ НҮДРАЛЛ

# PLANTING PLAN NOTES

- 1. REFER TO NOTES ON ALL OTHER SHEETS.
- THE CONTRACTOR SHALL LOCATE AND VERFY THE EXSTENCE OF ALL UTILITIES PROR TO STARTING WORK CONTACT "611" UNDERGROUND UTILITIES LOCATION CENTER PROR TO MISTALLATION OF PLANT MATERAL 2
- CONTRACTOR SHALL REMOVE ALL GRASS, WEEDS AND DEBRS FROM PLATTING BED AREAS. IND PLANT SHALL BE INSTALLED BEFORE PLANTING MX PLACEMENT AND FINSH GRADING HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT.
- PLACE MANIS LAWN SOL MXY OR EQUAL IN LAWN AREAS. PLACE MANIS PLANTING MXY OR EQUAL IN ALL PLANTING BED AREAS. 4
- THE CONTRACTOR IS RESPONSIBLE FOR INDEFINITY DETERMINING THE PLANT MATERIA CONTRICS RECORDED THE PLANS IMPECTATION OF INTERPACT COMMITTES RECOMMENDES OR IN THE PLANT SCHEDULE, DETERMISE THE PLANT MATERIAL OUNTIERS RECOMMENDER THE PLANT SCHEDULE, DETERMISE AND SLATE DETERMISE RECOMPACTING THE PLANT PLANT MATERIALS AS SYMPTHON PLANT AND AUDITATION OF REPART SCHEDULE ON LARGEN MATLIANT AND MODIFICATION OF REPART SCHEDULE ON LARGEN RATIONAL OF LARGEN PLANT AND ADDITIONUL COSTI ON THE PLANT SCHEDULE ON LARGEN MATLIANT OF LARGEN PLANT AND ADDITIONUL COSTI ON OWNERNON CONFROM TO PLANT SCHEDULE THAT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL DE LARGEN PLANT ANT AND ADDITIONUL COSTI ON OWNERNON RESUMPLIED ADDITIONAL ADDITIONAL DE ADDITI 5
- PROR TO INSTALLATION, DEMARCATE LAYOUT OF ALL PLAITING BEDS AND SEED AREAS FOR REVEN AND APPROVID. A MACHTECT, NALLOUE PEREMAL, GRONDANS BY SPECED FOR MITERAL, BED LAYOUTS, STAGGNO, STAKES, OR PLAITI MAY BE USED TO DELIVIATE LOCATIONS AS SOLED FROM THE PLAINS THE ARCHITECT WILL REVEN THESE LOCATIONS WITH THE CONTRACIOR AND MAY WAVE MACH ADJUSTILETINS AS NECESSARY, SUCH ADJUSTILETINS WILL BE AT INO ADDITIONAL COST TO THE OWNER. 9
- THE ARCHTECT SHUL REVENT THE PLACEMENT OF PLAIT MATERNIL AFTER INSTILLATION, AND RESERVES THE EART TO ADJUST LAYOUT TO ACCOMMOME SITE CONTINONS AND DESON INTERF AT NO ADDITIONAL LOST TO OTHERE 1

NOT TO SCALE

2 PERENNIAL PLANTING

PLANTING MX AS SPECIFIED TO BE SPREAD UNFORULY ACROSS ALL PLANTING BEDS SEE PLANTING SCHEDULE 3" OF MULCH TO BE SPREAD UNFORMLY ACROSS ALL PLANTING BEDS SEE PLANTING SCHEDULE

BREWIN

180C

- CONTRACTOR SHULL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF OVE (1) YEAR FROM DATE OF PROJECT COMPLETION. 80
- ALL IAWII AREAS SHALL BE SEED THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS INPACTED BY CONSTRUCTION ACTIVITIES. PROVIDE MINIMUM 4" PRE-APPROVED OFFSTIE TOPSOL FOR LAWII AREAS. 0
- LAWIN AREAS SHALL BE SEEDED WITH TURF TYPE TALL FESCUE BLEND OR APPROVED EQUAL AT THE DRENTONIO OF THE ARCHIFCT. TRESS ELVAN DARSES SHALL CONSEST OF LANNOOL MAY RANKED REMOVING PRODES AND FILLING DEPRESSIONS AS REQURED TO MEET GRADE AND CREATE POSTINE DRAWAGE. THE CONTRACTOR SHALL SEE LAWIN AREAS SHALL CONSEST OF LANNOOL MAY RANKED. REPE 1, 000 SURFEFET MILLINM AREA. THE CONTRACTOR SHALL THEN ARTY 10 POWINGS OF 10-0010 DERTILZER FER. TOND SOURCE FET MILLINM AREA. TEAL RESOUR MEET CANT, OR CONTRACTOR SHALL MACH MENN REEL THE CONTRACTOR SHALL THEN ARTY 10 POWINGS OF 10-010 DERTILZER FER. TOND SOURCE FEET MILLINM AREA. TERTLIZER SHALL BE RANKED MINIST, CANT, OR CONTRACTOR SHALL MACH MENN REEL THE CONTRACTOR SHALL THEN ARTY 10 POWINGS OF 10-010 DERTILZER FER. TOND SOURCE FEET MILLINM AREA. TERTLIZER SHALL BE RANKED MINIST, CANT, OR ADALEY STRAWN RYLL TOT BE USED MATERIZED LAMMMARKA MITCLIZED MINIST, CANT, OR POWID BLEES RET, DOS SOURCE FEET. THE CONTRACTOR SHALL MATTER ALL MATERIAL POWID BLEES RET, DOS SOURCE FEET. THE CONTRACTOR SHALL MATTER ALL MATTER ALL POWID BLEES RET, DOS SOURCE FEET. THE CONTRACTOR SHALL MATTARIAL MATLED MILLING FIND LAW POWID BLEES RET, DOS SOURCE FEET. THE CONTRACTOR SHALL MATTARIAL MATLED MILLING FIND LAWING FREED ARD STORED AREAS TO THE SATISFACTION OF THE ARTER AND THAT SUBFACE FREE OF ERODED OR BURGE AREAS TO THE SATISFACTION OF THE ARTER AND LAWING AND ALL PARTER DATA FREE OF ERODED OR BURGE AREAS TO THE SATISFACTION OF THE ARCHIFECT. 10.
- LANT AREA SHALL RECENTE FREQUENT LIGHT WATERAIS UNTIL GERMIATION APPROXIMITELY ONE WEEK AFTER SOUND SEED WATERAIDS SHALL BE LESS FREQUENT BUT LONGER ANODING DEY SOL AND PODOLE AREAS.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE AREAS AND QUANTITIES OF SEED HEEDED FOR OFTIMUM COVERAGE.
  - 13. REFER TO DEMOLITION PLAN FOR LIMITS OF WORK AND EROSION CONTROL MEASURES.
- MULCH PLAITING BEDS PER SPECIFICATIONS. SEE TREES, SHRUBS AND GROUNDCOVER SPECIFICATIONS. 14. LEGALLY DISPOSE OF DEBRIS ASSOCIATED WITH PLAITING OF FSITE.
- 15. PLANT INTERIUS SHOULD BE INSTALLED BETVEEN LATE AUGUST AND IAD OCTOBER OR BETWEEN MD APPR-ANDMD UNE:
- LAWN INSTALLATION SHOULD TAKE PLACE BETWEEN MD AUGUST AND LATE SEPTEMBER, OR BETWEEN LATE APPL AND EARLY JUNE.

NOTES:

SCARFY TO 4" DEPTH AND RECOMPACT

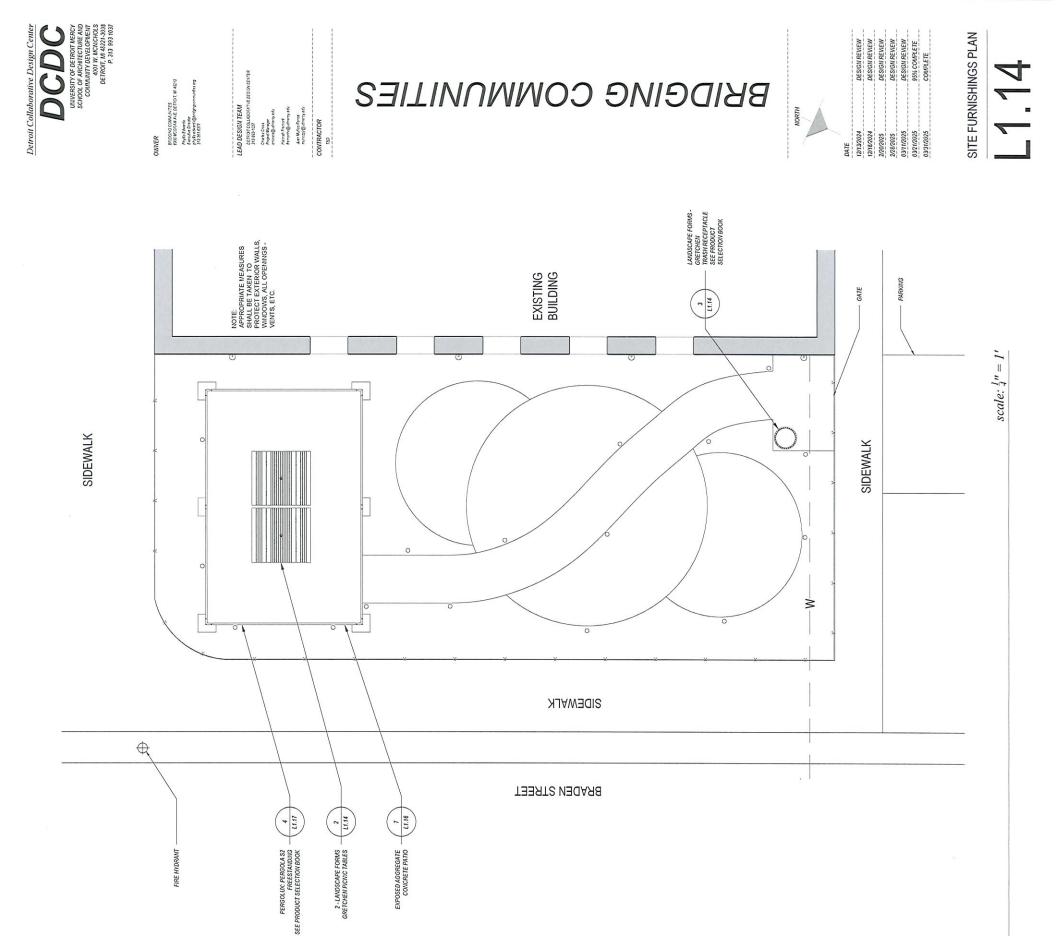
PLANTING MX AS SPECIFIED TO BE SPREAD UNFORM, Y ACROSS ALL PLANTING BEDS SEE PLANTING SCHEDULE

3" OF MULCH TO BE SPREAD UNFORM Y ACROSS ALL PLANTING BEDS SEE PLANTING SCHEDULE

SUBGRADE

BARE ROOT OR CONTAINER SHRUBS

Plant S	Plant Schedule		
Quantity	Planting Plan	Common Name	
12	Rhododendron 'P.J.M. Elite	PJM Rhododendron	
17	Spirea x bumalda 'Goldflame'	Goldflame Spirea	
m	llex x meserveae 'Blue Prince'	Blue Prince Holly	
7	llex x meserveae 'Blue Princess'	Blue Princess Holly	
	Perennials		
22	Echinacea 'Cheyenne Spirit'	Cheyenne Spirit Echinacea	
16	Rudbekia 'Fulgida Gold Rush'	Black Eyed Susan	
15	Clematis 'Happy Jack'	Happy Jack <sup>®</sup> Purple	



**]** SITE FURNISHINGS PLAN

HomeDepot Amazon Wayfair HomeDepot Outdoor Furniture Plus Pergolux Landscape Forms Landscape Forms Source

**Recommended Furnishings Schedule (NIC** 

4

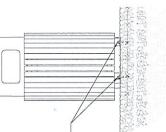
Hampton Bay Solar Path Lights (4/set) Solar Wall Lights (4/set) Arunas Outdoor Lounge Set Carnegy Avenue Aluminum Outdoor Chair Woodard Pedestal Round Table

NOT TO SCALE

### SITE FURNISHINGS PAN LEGEND

SOLAR PATH LIGHT (NIC)
 SOLAR WALL LIGHT (NIC)

WASHER AND NUT SECURING ANOHOR 3: THREAD PROTRUNNG FROM SURFACE (3) 61 ENDANSON ANCHOR BOLT 2-1/2-LONG 3: ANCHOR TABS



6X6 W2 9xW2 9 WELDED WIRE FABRIC

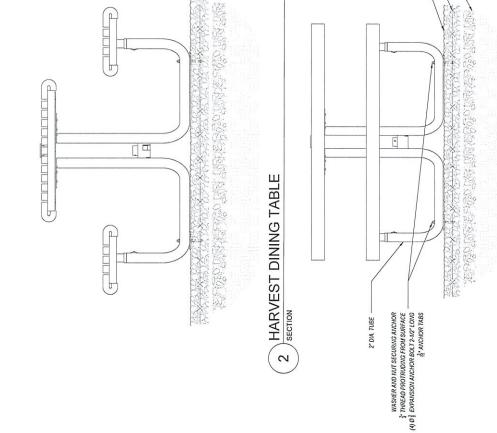
2" GRAVEL

4" EXPOSED AGGREGATE CONCRETE SLAB

WOOD BOARDS



NOT TO SCALE



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NOT TO SCALE

**Furnishings Schedule** 

Materials

Quantity

Pergolux Sundream S2 Gretchen Picnic Table

Gretchen Litter bin

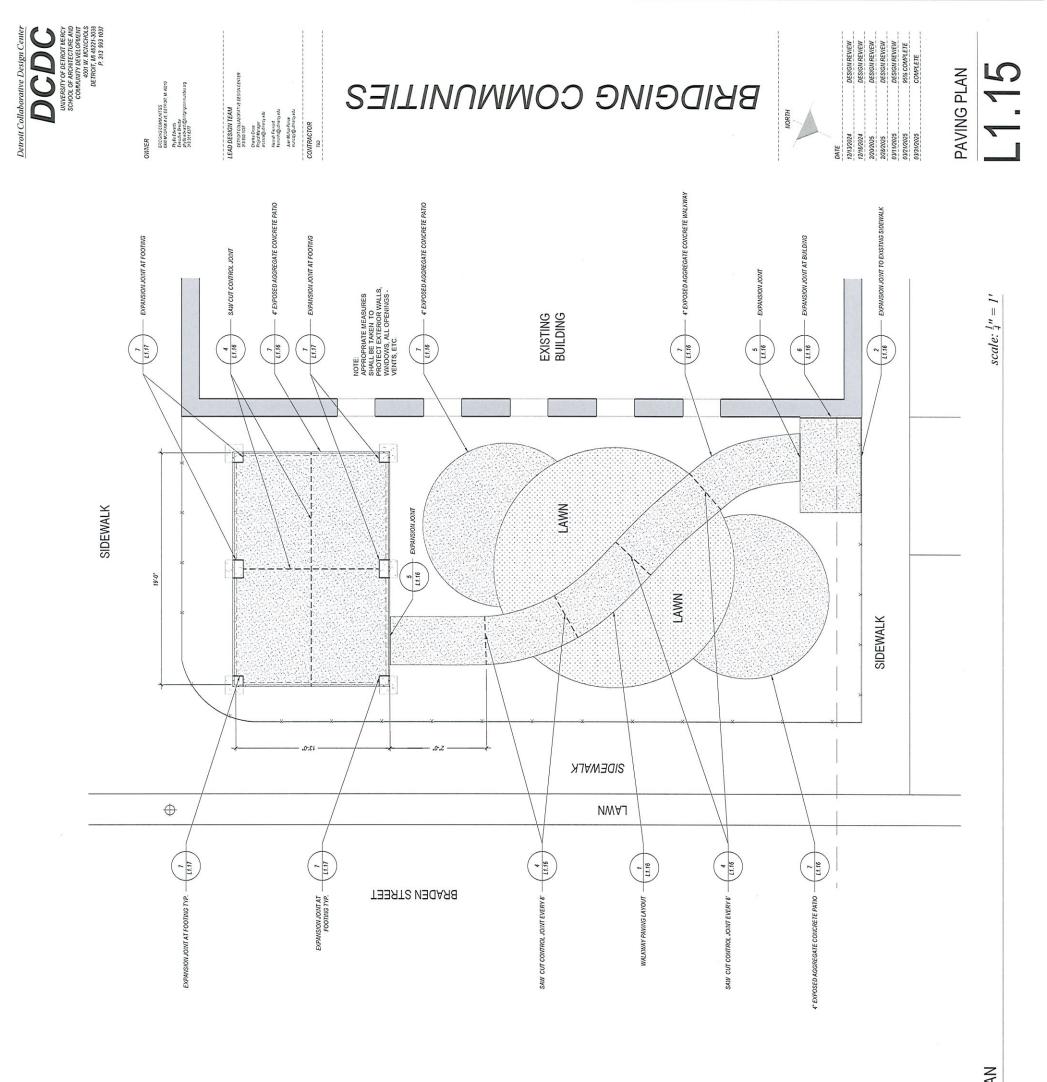


4" AGGREGATED CONCRETE SLAB

6X6 W2 9XW2 9
 WELDED WIRE FABRIC
 2' GRAVEL







**J PAVING PLAN** 

### PAVING PLAN LEGEND

EXPOSED AGGREGATE CONCRETE	CONCRETE FOOTING	LAWN	FIRE HYDRANT
			$\oplus$

### **GENERAL NOTES**

 PROVIDE FURNISHINGS, SPECHED PRODUCTS AND IMTERILS AS INDICATED AND DETALED ON THE DRAININGS, AND AS PER IMANUFACTURER'S STANDARD PRINTED SPECIFICATIONS, INSTRUCTIONS AND RECOMMENDATIONS ON THE PLAN

 CONTRACTOR SHALL CONFLY WITH ALL APPLICABLE REQUIREMENTS CODES AND OTHER PUBLIC AGENCIES NAWING JURISDICTION ON THE WORK CONTRACTOR SHALL NOT CONVENCE WORKIT ALL CONDITIONS AND REQUIREMENTS OF APPLICABLE PUBLIC AGENCIES ARE COMPLED WITH

 CONTRACTOR SHALL PROVIDE ALL LABOR, IMTERALS, INCLESSARY EQUIPALENT AND SERVICES TO COMPLETE THE SITE FURWISHINGS AND MATERIALS WORK, AS INDICATED ON THE DRAWINGS, SPECHED HEREIU OR BOTH, EXCEPT AS FOR TIELKS SPECHED/ALLY INDICATED DAY "WIG TELKS".

 THIS WORK SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING ITEMS: BENCHES, CONCRETE BENCH PADS.

 CONTRACTOR SHALL DELIVER ALL MATERIALS WITH MANUFACTURERS TAGS AND LABELS INTROL.

 CONTRACTOR SHALL LOAD AND TRANSPORT ANY OWNER SUPPLIED SITE FURWISHINGS TO THE SITE.

 THE CONTRACTOR SHALL STORE AND HANDLE ALL FURNISHINGS AND MATERIALS SO AS TO AVOID DAMAGE.

 CONTRACTOR SHALL PROVIDE NORWAWSHP AS INDICATED AND DETALED ON THE DOMINICS, AND AS PERMINIFICULIZERS STANDARD PRIVIDED SFECHICATIONS, INSTRUCTIONS AND RECOMMENDIANS.

 ALL EXPOSED AGGREGATE CONCRETE SHALL HAVE A POSITIVE DRAWAGE SLOPE FROM BULDING.

# PAVING LAYOUT NOTES

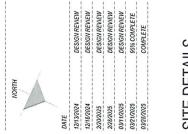
 CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SUB-GRADE COMPACTION UNDER PAVED AREAS, REFER TO PLANS, DETAILS, AND SPECIFICATIONS.

 LAYOUT ALL PAVINS PATTERIS AS CLOSELY AS POSSIBLE TO PLANS, DETALS, AND SPECIFICATIONS. DO INOT DEVALE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNERS REPRESENTATIVE.  SAW CUTS TO PAVEREDGES SHALL BE CLEAN, COMPLETE AND NEAT IN APPEARANCE. NAKE ALL CUTS AS IDENTIFIED ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.



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### **BRIDGING COMMUNITIES**



10 SITE DETAILS

