



## REQUEST FOR PROPOSAL

**PROJECT NAME:** Vacant Lot Redevelopment Project

**ISSUED BY:**

Bridging Communities, Inc. (BCI)  
6900 McGraw, Detroit, MI 48210

**ISSUE DATE:**

April 4, 2025

**PROPOSAL DEADLINE:**

April 22, 2025 at 5:00 PM EST

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### 1. ORGANIZATIONAL OVERVIEW

[Bridging Communities, Inc.](#) (BCI) is a Detroit-based nonprofit community development organization dedicated to providing services that connect people to resources and programs that promote senior independence, housing stability, and healthy communities. Our core goals include:

- Helping seniors age in place by providing access to resources that address basic needs
- Providing access to programs and services that stabilize homes and neighborhoods

### 2. PROJECT OVERVIEW

BCI is seeking a qualified contractor to redevelop a vacant lot at our office location (6900 McGraw, Detroit, MI 48210) into a garden area with a pergola. This project has been made possible through funding from a Kresge Innovative Projects: Detroit+ (KIP:D+) grant.

The proposed greenspace and pergola were designed in collaboration with our surrounding partners and neighbors to provide an additional community space for outdoor enjoyment. The complete design specifications have been prepared by Detroit Collaborative Design Center and are available as an attachment to this RFP.

### 3. SCOPE OF WORK

The selected contractor will be responsible for the following:





### **3.1 Site Preparation**

- Site demolition and clearing
- Soil erosion and sediment control implementation
- Site grading and preparation

### **3.2 Construction**

- Pouring aggregate exposed concrete for pathways and pergola foundation
- Installation of pergola structure
- Installation of site furnishings

### **3.3 Landscaping**

- Soil preparation and amendment
- Installation of plants, trees, and other vegetation as per design specifications

### **3.4 Finishing**

- Site cleanup
- Initial landscape maintenance

## **4. QUALIFICATIONS AND REQUIREMENTS**

BCI is seeking contractors with:

- Demonstrated experience in landscape architecture, urban planning design, or related field
- Installation capabilities and established relationships with trusted subcontractors
- Experience with similar community-based projects in Detroit
- Ability to meet all project deadlines
- Proper licensing and insurance

## **5. TIMELINE**

- **RFP Release Date:** April 4, 2025
- **Site Visit Opportunity:** by appointment\*
- **Proposal Submission Deadline:** April 22, 2025 at 5:00 PM EST





- **Contractor Selection Notification:** April 25, 2025
- **Project Completion Deadline:** June 30, 2025

\*To schedule a site visit, please contact KaTrice Perry [k.perry@bridgingcommunities.org](mailto:k.perry@bridgingcommunities.org) 313-265-3631 or Phyllis Edwards [phyllis.edwards@bridgingcommunities.org](mailto:phyllis.edwards@bridgingcommunities.org) 313-574-4813

## **6. PROPOSAL REQUIREMENTS**

Interested contractors must submit proposals including:

### **6.1 Company Information**

- Company name, address, and contact information
- Brief history and overview of company
- Project team contact and key personnel bios/qualifications

### **6.2 Project Approach**

- Detailed description of approach to the project
- Proposed timeline with key milestones
- Methods for ensuring project completion by June 30, 2025

### **6.3 Previous Experience**

- Portfolio of similar projects
- At least three references from previous clients (at least two from Detroit-based clients)
- Examples of community-based projects, especially those completed in Detroit

### **6.4 Budget Breakdown**

- Detailed cost estimates for each project component
- Labor costs
- Materials costs
- Equipment costs
- Any additional expenses

### **6.5 Additional Documentation**

- Proof of insurance





- Copies of relevant licenses and certifications
- Proof of ability to secure necessary permits

## 7. SELECTION CRITERIA

Proposals will be evaluated based on:

- Quality and completeness of proposal
- Relevant experience and qualifications
- Project approach and methodology
- Budget and cost-effectiveness
- Timeline feasibility
- References and past performance

## 8. SUBMISSION INSTRUCTIONS

Proposals must be submitted electronically to **[k.perry@bridgingcommunities.org](mailto:k.perry@bridgingcommunities.org)** with the subject line "Lot Redevelopment Proposal" OR mailed/delivered in a sealed envelope to:

Attention: KaTrice Perry  
Bridging Communities, Inc.  
6900 McGraw, Detroit, MI 48210

All proposals must be received by 5:00 PM EST on April 22, 2025.

## 9. CONTACT INFORMATION

For questions regarding this RFP or to schedule a site visit, please contact:

KaTrice Perry- Executive Director, Bridging Communities, Inc.  
[k.perry@bridgingcommunities.org](mailto:k.perry@bridgingcommunities.org) Direct 313-265-3631 Office 313-361-6377 ext 101

Phyllis Edwards- Project Consultant, Bridging Communities, Inc.  
[Phyllis.edwards@bridgingcommunities.org](mailto:Phyllis.edwards@bridgingcommunities.org) Direct 313-574-4813

## 10. ADDITIONAL INFORMATION

- BCI reserves the right to reject any and all proposals
- Contractors are responsible for all costs associated with proposal preparation
- The selected contractor will be required to enter into a written agreement with BCI
- This project is funded through the [Kresge Innovative Projects: Detroit+ \(KIP:D+\)](#) grant program



# BRIDGING COMMUNITIES

6900 McGRAW AVE, DETROIT, MI 48210

## PROJECT DATA

PROJECT	BRIDGING COMMUNITIES LANDSCAPE DESIGN
ADDRESS	6900 McGRAW AVE, DETROIT MI, 48210

### APPLICABLE CODES

ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE CODES INCLUDING LOCAL BUILDING, PLUMBING, MECHANICAL, AND ELECTRICAL CODES, ORDINANCES AND REQUIREMENTS.

- 2015 MICHIGAN BUILDING CODE - INCLUDES MICHIGAN BARRIER FREE DESIGN RULES
- 2018 MICHIGAN ELECTRICAL CODE
- 2018 MICHIGAN PLUMBING CODE
- CITY OF DETROIT ZONING ORDINANCE 309-G

**PROJECT DESCRIPTION**  
REDEVELOPMENT OF VACANT LOT INTO SMALL GARDEN AREA WHERE RESIDENTS AND STAFF CAN SIT, RELAX, AND ENJOY THE AREA.

**LEGAL DESCRIPTION**  
CITY OF DETROIT PARCEL: 18003087-100  
STREET ADDRESS: 6900 MCGRAW, DETROIT, MI, 48210  
DESCRIPTION: N MC GRAY 85 THRU 72 STEPHEN PRATT SUB L55 P81 PLATS, W C R 18443 296.10 IRREG

**ZONING CLASSIFICATION**  
R-2, RESIDENTIAL DISTRICT  
6900 MCGRAW ST

**LOT SIZE**  
1,450 SQ. FT. 56'-6" X 25'-5"

**CONSTRUCTION TYPE IIB**  
PERGOLUX PERGOLA S2: FREESTANDING - 13' X 16' (SEE PRODUCT SPECIFICATION BOOKLET)

**FIRE RESISTANCE**  
NOT APPLICABLE (OUTDOOR, OPEN SPACE)

**OFF-STREET PARKING REQUIREMENTS**  
NOT APPLICABLE (OUTDOOR, OPEN SPACE)

**OCCUPANCY AND USE**  
USE CLASSIFICATION OUTDOOR, RECREATIONAL

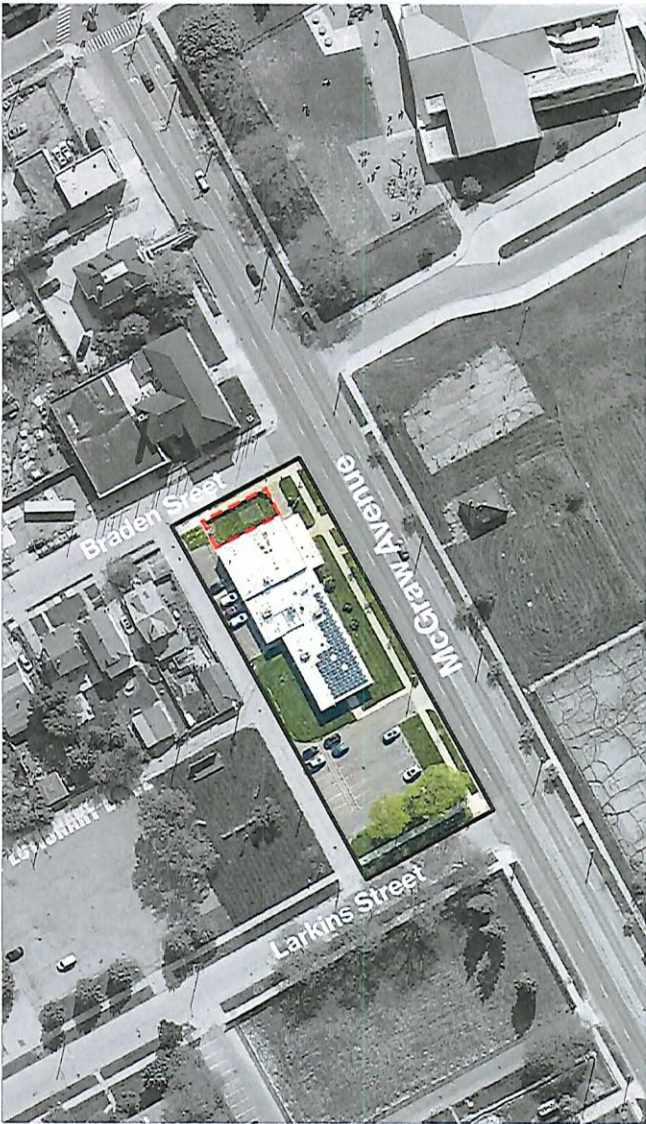
**OCCUPANT LOAD FACTOR** (Table 1004.1.2 - MBC 2015)

Type	Area/Occupancy	Total Occupants
NOT APPLICABLE (OUTDOOR, OPEN SPACE)		
<b>FIRE SUPPRESSION REQUIREMENTS</b>		
NOT REQUIRED		
<b>MEANS OF EGRESS AND EXIT ACCESS</b>		
NOT APPLICABLE (OUTDOOR, OPEN SPACE)		
<b>REQUIRED PLUMBING FACILITIES</b> (Table 403.1 - MBC 2015)		
NOT APPLICABLE (OUTDOOR, OPEN SPACE)		



1 SITE/BUILDING PHOTO

not to scale



1 LOCATION MAP

not to scale

COMPLETE  
03/31/25

INDEX TO DRAWINGS	
NO.	TITLE
BRIDGING COMMUNITIES LANDSCAPE DESIGN	
L0.01	COVER SHEET
L0.01	GENERAL NOTES AND SPECIFICATIONS
L0.02	GENERAL NOTES AND SPECIFICATIONS
L0.03	EXISTING CONDITIONS AND UTILITIES
L1.00	SITE DEMOLITION AND PREPARATION PLAN
L1.10	PROPOSED SITE PLAN
L1.11	LAYOUT PLAN
L1.12	MATERIALS PLAN
L1.13	PLANTING PLAN
L1.14	SITE FURNISHINGS PLAN
L1.15	PAVING PLAN
L1.16	SITE DETAIL SHEET
L1.17	SITE DETAIL SHEET

### OWNER

BRIDGING COMMUNITIES  
6900 MCGRAW AVE, DETROIT MI, 48210  
Ph: 313.993.4010  
Email: info@bridgingcommunities.org  
info@bridgingcommunities.org  
313.993.1037

### LEAD DESIGN TEAM

DETROIT COLLABORATIVE DESIGN CENTER  
313.993.1037  
Caleb A. Goss  
Principal  
cgooss@bridgingcommunities.edu  
Hannah Fitzgibbon  
Principal  
hfitzgib@bridging.edu  
Aimee Wallace-Pruitt  
Principal  
awallace@bridging.edu

### CONTRACTOR

TBD

BRIDGING COMMUNITIES

NORTH

DATE	DESIGN REVIEW
12/13/2024	DESIGN REVIEW
12/18/2024	DESIGN REVIEW
2/29/2025	DESIGN REVIEW
2/29/2025	DESIGN REVIEW
03/11/2025	DESIGN REVIEW
03/27/2025	95% COMPLETE
03/31/2025	COMPLETE

COVER SHEET

L0.00







# Seeding Specification

SECTION 32.92 19 - SEEDING
PART 1 - GENERAL
1.01 RELATED DOCUMENTS:
A. Attention is directed to Bidding and Contract Requirements, and to General and Supplemental Requirements, which are hereby made a part of this Section.
1.02 DESCRIPTION OF WORK
A. Extent of seeded lawns is shown on drawings and by provision of this Section.

B. Types of work required includes the following:

1. Soil preparation
2. Seeding lawns
3. Mulching

C. Related Work Specified Elsewhere:

Section 32.91 13, Topsoil  
Section 32.93 00, Trees, Shrubs and Ground Covers  
Section 32.01 50, Landscape Maintenance and Warranty Standards

## 1.03 SUBMITTALS:

A. Submit seed vendor's certification for required grass seed mixture, indicating percentage by weight and percentages of purity, germination and weed seed for each grass species.

B. Fertilizer certification

## 1.04 DELIVERY, STORAGE AND HANDLING:

A. Deliver seed and fertilizer materials in original unopened containers, showing weight, analysis and name of manufacturer. Store in a manner to prevent wetting and deterioration.

## 1.05 PROJECT CONDITIONS:

A. Work notification: Notify Landscape Architect at least 7 working days prior to start of seeding operation.

B. Protect existing utilities, paving and other facilities from damage caused by seeding operations.

C. Perform seeding work only after planting and other work affecting ground surface has been completed.

## 1.06 WARRANTY:

A. Provide hose and lawn watering equipment as required.

## PART 2 - PRODUCTS

### 2.01 MATERIALS:

A. Topsoil for Seeding Lawn Areas: Refer to Section 32.91 13 and to drawings.

B. Glyphosate Based Herbicide:

B. Seed: Fresh, clean and near crop seed mixture. Mixed by approved methods. Seed shall be TURF Type Tall Fescue or approved equal, applied at the rate of 7 pounds per 1000 square feet.

C. Composed of the following varieties, mixed to the specified proportions by weight and tested to minimum percentages of purity and germination.

D. Fertilizer: 10-10-10. Granular, non-burning product composed of not less than 50% organic slow acting, guaranteed analysis, professional fertilizer. Fertilizer shall be applied at the rate of 10 pounds per 1000 square feet.

E. Ground Insecticide: Use if required by soil test report. Containing not less than 65% of total carbonates, and ground to such fineness that 50% will pass through a 100 mesh sieve and 90% will pass through a 20% mesh sieve.

F. Granulated sulfur: 0-0-6-0-90 to lower PH. Use if determined by soil tests to be necessary. Apply per soil test recommendations at specified rate.

G. Straw mulch: Clean cut, wheat straw, or barley well seasoned before baling, free from mature seed-bearing stems or roots of prohibited or noxious weeds. Loose mulch shall be anchored in place by crimping. No dry straw shall be used.

H. Water: Free of substance harmful to seed growth. Hoses or other methods of transportation furnished by Contractor. Test for excess Alkalinity, if necessary.

## PART 3 - EXECUTION

### 3.01 EXAMINATION:

A. Landscape architect must approve finish surfaces, grades, topsoil quality and depth. Do not start seeding work until unsatisfactory conditions are corrected.

### 3.02 PREPARATION OF SEEDED LAWN AREAS:

A. Limit preparation to areas which will be immediately seeded.

B. Loosen topsoil of lawn restoration areas to minimum depth of 4". Remove stones over 1" in any dimension and sticks, roots, rubbish and extraneous matter.

C. Add topsoil if necessary, and grade lawn areas to a smooth, free draining even surface with a loose, moderately coarse texture. Roll and rake, remove ridges and fill depressions as required to drain.

D. Apply amendments to enriched topsoil, if required by soil test report, at rate determined by the soil test, to adjust pH of topsoil to not less than 7.0 nor more than 6.8. Distribute evenly by machine and incorporate thoroughly into topsoil.

E. Apply fertilizer to indicated turf areas at a rate of 10 lbs. per 1,000 sq. ft. Only this process if applied with hydroseeding process.

F. Apply fertilizers by mechanical rotary or drop type distributor, thoroughly and evenly incorporated with soil to a depth of 1" by digging or other approved method. Fertilize areas inaccessible to power equipment with hand tools and incorporate into soil.

G. Restore prepared areas to specified condition if eroded, settled or otherwise disturbed after fine grading and prior to seeding.

### 3.03 INSTALLATION

A. Seed lawns only between April 1 and July 1 and fall seeding between August 15 and October 15 or at such other times acceptable to Architect.

B. Seed immediately after preparation of bed. Seed indicated areas within contract limits and areas adjoining contract limits disturbed as a result of construction operations.

C. Perform seeding operations when the soil is dry and when winds do not exceed 5 miles per hour velocity.

D. Apply seed with a rotary or drop type distributor. Install seed evenly by sowing equal quantities in 2 directions, at right angles to each other.

E. Sow seed at the seeding rate specified by the manufacturer.

F. After seeding, rake or drag surface of soil lightly to incorporate seed into top 1/8" of soil. Roll with light lawn roller.

### 3.04 MULCHING:

A. Place straw mulch on seeded areas within 24 hours after seeding.

B. Place straw mulch uniformly @ rate of (2) 60 lb. bales per 1,000 sq. ft. of area. A mechanical blower may be used for straw mulch application when acceptable to the Architect.

C. Crimp straw into soil by use of a "crimper". Two passes in opposite direction required.

### 1.07 WARRANTY:

A. Refer to Section 32.01 50.

## PART 2 - PRODUCTS

### 2.01 MATERIALS:

A. Plants: Provide plants typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, diseases, insect infestations, root rot, or other defects. Plants shall be supplied in containers or burlap burl, and shall be delivered to the site in a manner to prevent damage.

B. Plants shall be delivered to the site in a manner to prevent damage. Plants shall be delivered to the site in a manner to prevent damage.

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Z. Plants shall be delivered to the site in a manner to prevent damage. Plants shall be delivered to the site in a manner to prevent damage.

A. Establish dense lawn of permanent grasses, free from weeds and degradation. Any area failing to show uniform germination shall be reseeded, continuous until dense lawn is established. Damage to seeded area resulting from erosion to be repaired by Contractor. Scattered bare spots over 5 percent not allowed.

B. In event contractor does not establish dense lawn during germination period, Contractor responsible to return to project to fertilize and reseed to establish dense lawn.

C. Should the seeded lawn become largely weeds after germination, Contractor responsible to fill the weeds and reseed the proposed lawn area to produce a dense turf, as specified.

D. Irrigation and watering required to establish a dense lawn is the responsibility of the Contractor.

## 3.07 CLEANING:

A. Perform clearing during installation of the work and upon completion of the work to the satisfaction of the Architect. Remove all debris and materials from the site.

B. Repair damage resulting from seeding operations. Clean all areas where overstay has occurred from hydroseeding operations.

## END OF SECTION 32.92 19

# Trees, Shrubs and Groundcover Specifications

## SECTION 32.93 00 - TREES, SHRUBS AND GROUND COVERS

### PART 1 - GENERAL

#### 1.01 RELATED DOCUMENTS:

A. Attention is directed to Bidding and Contract Requirements, and to General and Supplemental Conditions hereby made a part of this Section.

#### 1.02 DESCRIPTION OF WORK:

A. Extent of trees, shrubs, and ground covers is shown on drawing and by provisions of this Section.

B. Types of work required include the following:

1. Soil preparation
2. Trees, shrubs and ground covers
3. Planting mixes
4. Mulch and planting accessories
5. Soil preparation tests

C. Related work specified elsewhere:

### Section 32.91 13, Topsoil

### Section 32.01 50, Landscape Maintenance and Warranty Standards

## 1.03 QUALITY ASSURANCE:

A. Plant names indicated, comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legally tagged.

B. Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

C. All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

D. Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional charge. Larger plants shall not be cut back to size indicated.

E. Provide plants with a height, shape, or character of growth as required per plans.

F. Landscape Contractor to dig trees or shrubs at the source of supply. The Landscape Architect (at their discretion) will inspect selections at the source of supply for suitability and eligibility for the proposed plants for approval. The Landscape Contractor shall inspect all plant material at source prior to Landscape Architect's approval. Landscape Contractor shall accompany Architect on final selection trip.

G. Such approval shall not impair the right of inspection and rejection upon delivery at the site or during the progress of the work.

H. Provide percolation testing by filling plant pits with water and monitoring length of time for water to percolate into soil. Notify Landscape Architect at least 48 hours prior to percolation testing.

## 1.04 SUBMITTALS:

A. Submit the following material samples:

1. Shredded bark mulch
2. Topsoil
3. Chalk Seed Mix

B. Submit the following materials certification:

1. Topsoil source and pH value
2. Plant fertilizer

## 1.05 DELIVERY, STORAGE AND HANDLING:

A. Deliver fertilizer materials in original, unopened and undamaged containers showing weight, analysis and name of manufacturer. Store in manner to prevent wetting and deterioration.

B. Take all precautions customary in good trade practice in preparing plants for moving. Work with plant burl to the maximum extent possible. Plants shall be protected from damage in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration.

C. Dig, pack, transport and handle plants with care to insure protection against injury. Inspection certificates required by law shall accompany each shipment in case of order to stock and on delivery. Plants shall be protected from damage by covering with burlap or other material and drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss or in a manner acceptable to the Landscape Architect. Water heeled-in plants as required to keep root system moist until planting. No plant shall be bound with burlap or other material and stored in place for more than 48 hours prior to planting, unless approved by Architect.

D. Cover plants transported on open vehicles with a protective covering to prevent windburn velocity.

E. Frozen or muddy topsoil is not acceptable.

## 1.06 PROJECT CONDITIONS:

A. Work notification: Notify Architect at least 7 working days prior to installation of plant material.

B. Protect existing utilities, paving and other facilities from damage caused by landscaping operations.

C. A complete list of plants, including a schedule of sizes, quantities and other requirements is shown on the proposal form. In the event that quantity discrepancies or material omissions occur under the proposal form, Contractor shall notify the Landscape Architect during the proposal bidding process.

D. Perform percolation testing.

E. Contractor shall provide water source for planting execution.

### 1.07 WARRANTY:

A. Refer to Section 32.01 50.

## PART 2 - PRODUCTS

### 2.01 MATERIALS:

A. Plants: Provide plants typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, diseases, insect infestations, root rot, or other defects. Plants shall be supplied in containers or burlap burl, and shall be delivered to the site in a manner to prevent damage.

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E. If obstructions are encountered that are not indicated, do not proceed with planting operations until alternative plant locations have been selected and approved in writing by the Landscape Architect. Where location or spacing dimensions are not clearly shown, request clarification by the Landscape Architect.

F. See drawings for planting details.

## 3.07 CLEANING:

A. Perform clearing during installation of the work and upon completion of the work to the satisfaction of the Architect. Remove all debris and materials from the site.

B. Repair damage resulting from seeding operations. Clean all areas where overstay has occurred from hydroseeding operations.

C. Should the seeded lawn become largely weeds after germination, Contractor responsible to fill the weeds and reseed the proposed lawn area to produce a dense turf, as specified.

D. Irrigation and watering required to establish a dense lawn is the responsibility of the Contractor.

E. Frozen or muddy topsoil is not acceptable.

F. Work notification: Notify Architect at least 7 working days prior to installation of plant material.

G. Protect existing utilities, paving and other facilities from damage caused by landscaping operations.

H. A complete list of plants, including a schedule of sizes, quantities and other requirements is shown on the proposal form. In the event that quantity discrepancies or material omissions occur under the proposal form, Contractor shall notify the Landscape Architect during the proposal bidding process.

I. Perform percolation testing.

J. Contractor shall provide water source for planting execution.

E. If obstructions are encountered that are not indicated, do not proceed with planting operations until alternative plant locations have been selected and approved in writing by the Landscape Architect. Where location or spacing dimensions are not clearly shown, request clarification by the Landscape Architect.

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B. Repair damage resulting from seeding operations. Clean all areas where overstay has occurred from hydroseeding operations.

C. Should the seeded lawn become largely weeds after germination, Contractor responsible to fill the weeds and reseed the proposed lawn area to produce a dense turf, as specified.

D. Irrigation and watering required to establish a dense lawn is the responsibility of the Contractor.

E. Frozen or muddy topsoil is not acceptable.

F. Work notification: Notify Architect at least 7 working days prior to installation of plant material.

G. Protect existing utilities, paving and other facilities from damage caused by landscaping operations.

H. A complete list of plants, including a schedule of sizes, quantities and other requirements is shown on the proposal form. In the event that quantity discrepancies or material omissions occur under the proposal form, Contractor shall notify the Landscape Architect during the proposal bidding process.

I. Perform percolation testing.

J. Contractor shall provide water source for planting execution.

E. If obstructions are encountered that are not indicated, do not proceed with planting operations until alternative plant locations have been selected and approved in writing by the Landscape Architect. Where location or spacing dimensions are not clearly shown, request clarification by the Landscape Architect.

F. See drawings for planting details.

## 3.07 CLEANING:

A. Perform clearing during installation of the work and upon completion of the work to the satisfaction of the Architect. Remove all debris and materials from the site.

B. Repair damage resulting from seeding operations. Clean all areas where overstay has occurred from hydroseeding operations.

C. Should the seeded lawn become largely weeds after germination, Contractor responsible to fill the weeds and reseed the proposed lawn area to produce a dense turf, as specified.

D. Irrigation and watering required to establish a dense lawn is the responsibility of the Contractor.

E. Frozen or muddy topsoil is not acceptable.

F. Work notification: Notify Architect at least 7 working days prior to installation of plant material.

G. Protect existing utilities, paving and other facilities from damage caused by landscaping operations.

H. A complete list of plants, including a schedule of sizes, quantities and other requirements is shown on the proposal form. In the event that quantity discrepancies or material omissions occur under the proposal form, Contractor shall notify the Landscape Architect during the proposal bidding process.

I. Perform percolation testing.

J. Contractor shall provide water source for planting execution.

E. If obstructions are encountered that are not indicated, do not proceed with planting operations until alternative plant locations have been selected and approved in writing by the Landscape Architect. Where location or spacing dimensions are not clearly shown, request clarification by the Landscape Architect.

F. See drawings for planting details.

## 3.07 CLEANING:

A. Perform clearing during installation of the work and upon completion of the work to the satisfaction of the Architect. Remove all debris and materials from the site.

B. Repair damage resulting from seeding operations. Clean all areas where overstay has occurred from hydroseeding operations.



EXISTING CONDITIONS AND UTILITIES LEGEND

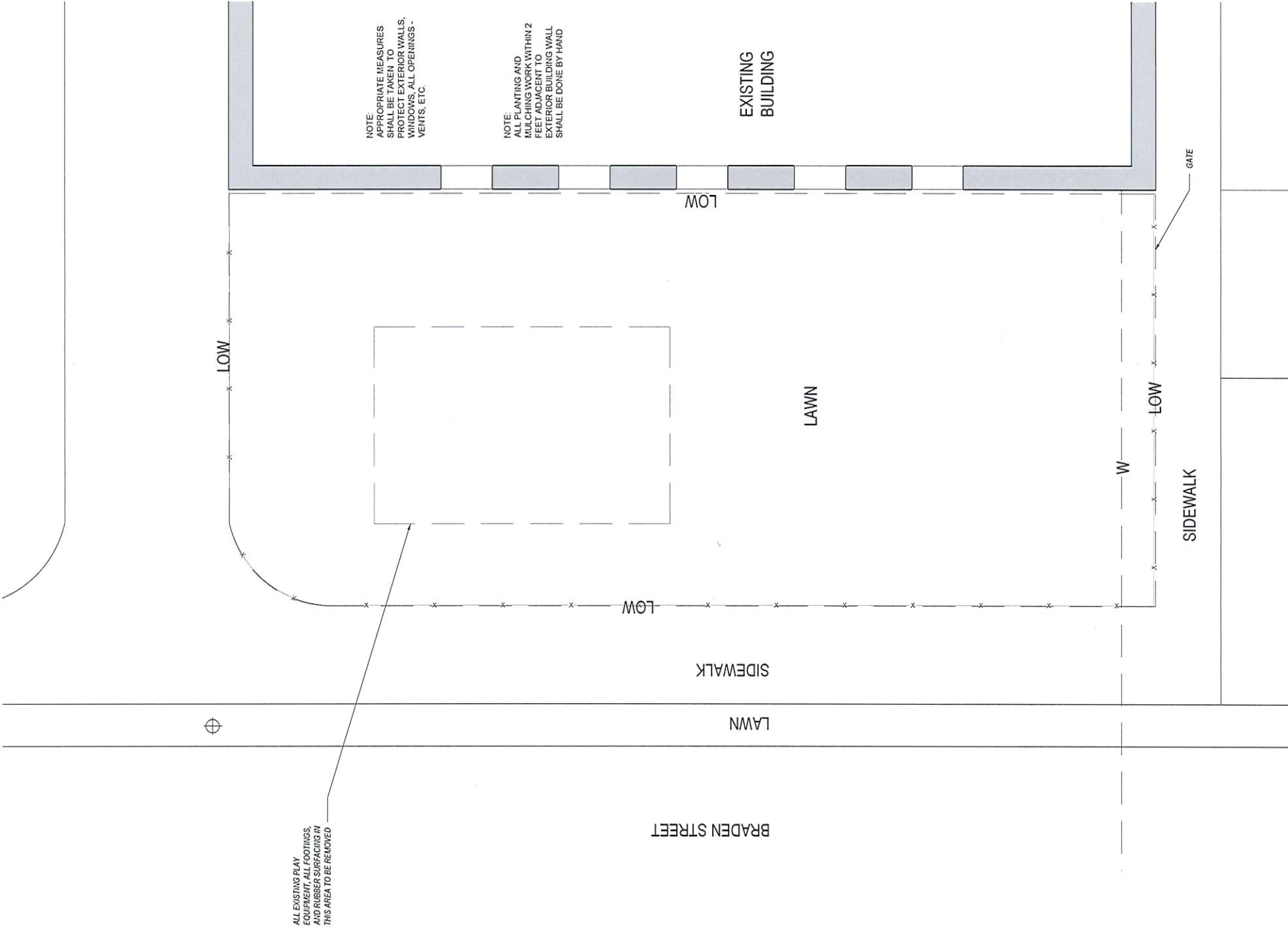
- W- UNDERGROUND WATER LINE
- ⊕ FIRE HYDRANT
- LOW- LIMIT OF WORK
- X-X- EXISTING CHAIN LINK FENCE

NOTES:  
1. CONTRACTOR SHALL PROTECT ALL TREES AND LAWN AREAS FROM DAMAGE AND MINIMIZE NECESSARY LAWN RESTORATION. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS AND VEGETATION DESIGNATED.  
2. LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES. CONTRACTOR AND/OR OWNER SHALL CALL BEFORE ANY EXCAVATION OR CONSTRUCTION. CONTRACTOR SHALL ONLY BEGIN AFTER APPROVAL FROM ISSUING AGENCY.  
3. THE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING ON THE SITE. BEFORE COMMENCING WORK, VERIFY WITH THE OWNER ALL OBJECTS TO BE REMOVED AND ALL OBJECTS TO BE PRESERVED. REMOVE ALL DEBRIS FROM THE SITE AND LEAVE THE SITE IN A NEAT, ORDERLY CONDITION TO THE FULL ACCEPTANCE OF THE OWNER.  
4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OF THE WORK OR OWNERS REPRESENTATIVE AT NO ADDITIONAL COST SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION.  
5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING FEATURES TO REMAIN OUTSIDE THE LIMITS OF WORK AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTORS EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM ERODING OFF SITE. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE OR PLACED IN AREAS AS NOTED ON PLAN.  
6. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.  
7. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN. CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIERS AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.  
8. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.  
9. CONTRACTORS STAGING AREA MUST BE WITHIN THE LIMIT OF WORK LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.  
10. THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.  
11. ANY LAWN AREA THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.  
12. LAWN TO BE REPAIRED WITH SEED AND STRAW MATS.  
13. SOIL THAT IS TO BE REMOVED SHALL BE HAULED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.

EXISTING CONDITIONS AND UTILITIES

- W- UNDERGROUND WATER LINE
- ⊕ FIRE HYDRANT
- LOW- LIMIT OF WORK
- X-X- EXISTING CHAIN LINK FENCE

NOTES:  
1. CONTRACTOR SHALL PROTECT ALL TREES AND LAWN AREAS FROM DAMAGE AND MINIMIZE NECESSARY LAWN RESTORATION. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS AND VEGETATION DESIGNATED.  
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3. THE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING ON THE SITE. BEFORE COMMENCING WORK, VERIFY WITH THE OWNER ALL OBJECTS TO BE REMOVED AND ALL OBJECTS TO BE PRESERVED. REMOVE ALL DEBRIS FROM THE SITE AND LEAVE THE SITE IN A NEAT, ORDERLY CONDITION TO THE FULL ACCEPTANCE OF THE OWNER.  
4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OF THE WORK OR OWNERS REPRESENTATIVE AT NO ADDITIONAL COST SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION.  
5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING FEATURES TO REMAIN OUTSIDE THE LIMITS OF WORK AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTORS EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM ERODING OFF SITE. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE OR PLACED IN AREAS AS NOTED ON PLAN.  
6. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.  
7. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN. CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIERS AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.  
8. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.  
9. CONTRACTORS STAGING AREA MUST BE WITHIN THE LIMIT OF WORK LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.  
10. THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.  
11. ANY LAWN AREA THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.  
12. LAWN TO BE REPAIRED WITH SEED AND STRAW MATS.  
13. SOIL THAT IS TO BE REMOVED SHALL BE HAULED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.



BRIDGING COMMUNITIES

DATE	DESIGN REVIEW
12/13/2024	DESIGN REVIEW
12/16/2024	DESIGN REVIEW
2/20/2025	DESIGN REVIEW
2/28/2025	DESIGN REVIEW
03/11/2025	DESIGN REVIEW
03/21/2025	55% COMPLETE
03/31/2025	COMPLETE

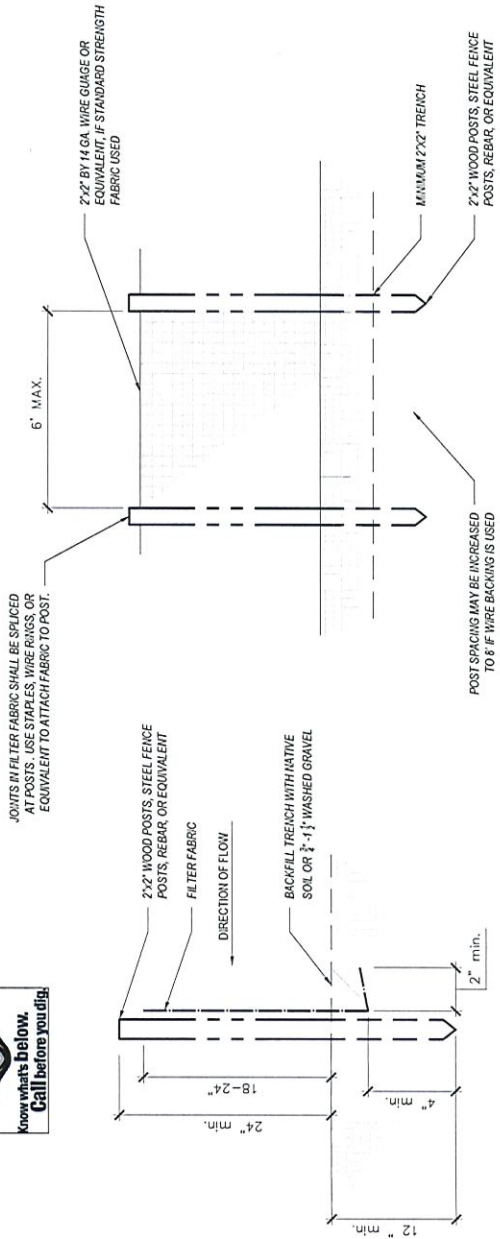
EXISTING  
CONDITIONS AND  
UTILITIES



SITE DEMOLITION AND PREPARATION PLAN LEGEND

- W UNDERGROUND WATER LINE
- Fire Hydrant
- LOW LIMIT OF WORK
- X-X EXISTING CHAIN LINK FENCE
- SOD TO BE REMOVED
- SF SILT FENCE
- MASONRY WALL

- NOTES:
- CONTRACTOR SHALL PROTECT LAWN AREAS FROM DAMAGE AND MAXIMIZE NECESSARY LAWN RESTORATION. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS AND VEGETATION DESIGNATED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY LAWN REPLACEMENT AND RESTORATION DUE TO DAMAGES INCURRED THROUGHOUT CONSTRUCTION.
  - LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES. CONTRACTOR AND/OR OWNER SHALL CALL MASS DIG (811) PRIOR TO ANY SITE DEMOLITION. CONTRACTOR SHALL ONLY BEGIN AFTER APPROVAL FROM MASS DIG.
  - THE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING ON THE SITE. BEFORE COMMENCING WORK, VERIFY WITH THE OWNER ALL OBJECTS TO BE REMOVED AND ALL UTILITIES TO BE PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE SITE TO THE FULL ACCEPTANCE OF THE OWNER.
  - ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER OR OWNERS REPRESENTATIVE AT NO ADDITIONAL COST.
  - DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING FENCES TO REMAIN OUTSIDE THE PROJECT LIMITS. CONTRACTOR SHALL TAKE EXISTING FENCES TO REMAIN OUTSIDE THE PROJECT LIMITS. CONTRACTOR SHALL TAKE EXISTING MATERIAL FROM AREAS OFF SITE. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE OR PLACED IN AREAS AS ON PLAN.
  - STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.
  - CONTRACTOR'S STAGING AREA MUST BE WITHIN THE LIMIT OF WORK LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
  - THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
  - ANY LAWN AREA THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.



1 SILT FENCE  
ELEVATION AND SECTION

NOT TO SCALE

1 SITE DEMOLITION AND PREPARATION PLAN

scale: 1/4"=1'

OWNER

DETROIT COLLABORATIVE DESIGN CENTER  
600 W. COVINA AVE., DETROIT, MI 48210  
Ph: 313.933.1037  
Email: info@dcdc.org  
Website: www.dcdc.org  
21.04.2024

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DETROIT COLLABORATIVE DESIGN CENTER  
20.04.2024

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Janet M. Papp  
Principal  
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CONTRACTOR

TO BE DETERMINED

BRIDGING COMMUNITIES

NORTH

DATE	DESIGN REVIEW
12/13/2024	DESIGN REVIEW
12/16/2024	DESIGN REVIEW
2/20/2025	DESIGN REVIEW
2/28/2025	DESIGN REVIEW
03/11/2025	DESIGN REVIEW
03/21/2025	95% COMPLETE
03/31/2025	COMPLETE

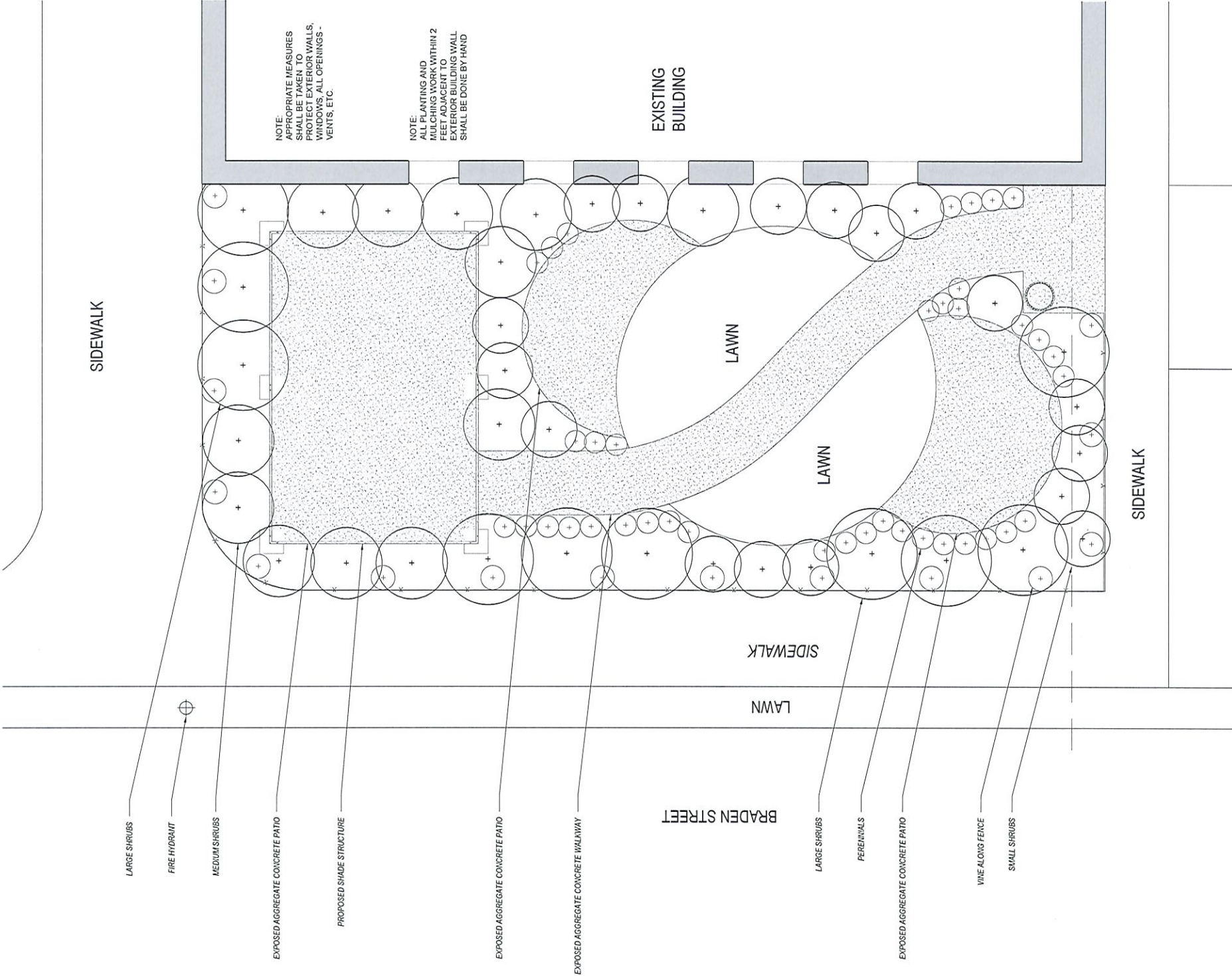
SITE DEMOLITION  
AND PREPARATION  
PLAN

L1.00



PROPOSED SITE PLAN NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL PERMITS AND APPROVALS SHALL BE SUBMITTED TO THE OWNER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REQUIREMENTS AND REGULATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL PERMITS AND APPROVALS SHALL BE SUBMITTED TO THE OWNER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REQUIREMENTS AND REGULATIONS.
3. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION BY CONTACTING MASS DIG 811. THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY THE OWNER OR OWNERS REPRESENTATIVE.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. OWNER OR OWNERS REPRESENTATIVE WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH LOCAL ORDINANCES AND WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO FOLLOW ALL OSHA SAFETY REGULATIONS ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.



1] PROPOSED SITE PLAN

scale: 1/4"= 1'

BRIDGING COMMUNITIES

OWNER

BRIDGING COMMUNITIES  
UNIVERSITY OF DETROIT MERCY  
SCHOOL OF ARCHITECTURE AND  
COMMUNITY DEVELOPMENT  
4031 W. MICHIGANS  
DETROIT, MI 48221-3033  
P. 313.933.1037

LEAD DESIGN TEAM

DETROIT COLLABORATIVE DESIGN CENTER  
315BB-1037  
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creative@dcrc.org  
Project Manager  
pm@dcrc.org  
Lead Designer  
lead@dcrc.org

CONTRACTOR

NO

DATE	DESIGN REVIEW	DESIGN REVIEW	DESIGN REVIEW	DESIGN REVIEW	95% COMPLETE	COMPLETE
12/13/2024	12/18/2024	2/20/2025	2/28/2025	03/11/2025	03/21/2025	03/31/2025

PROPOSED  
SITE PLAN






L1.10





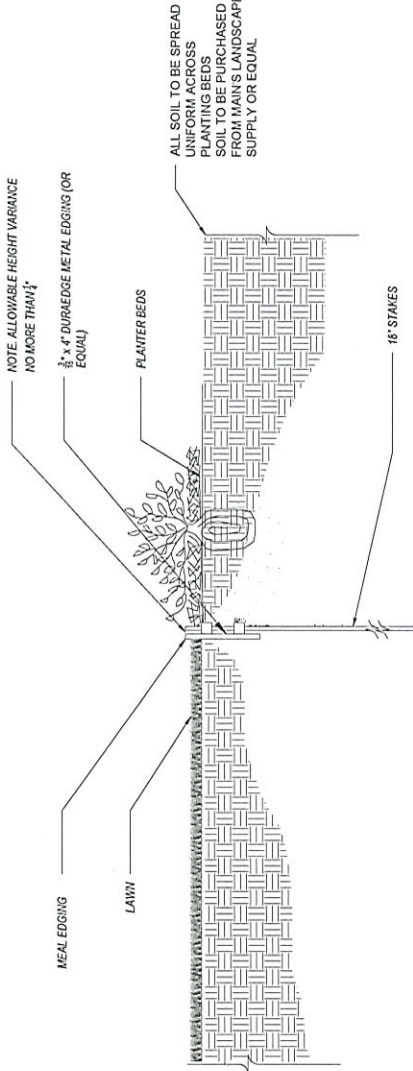
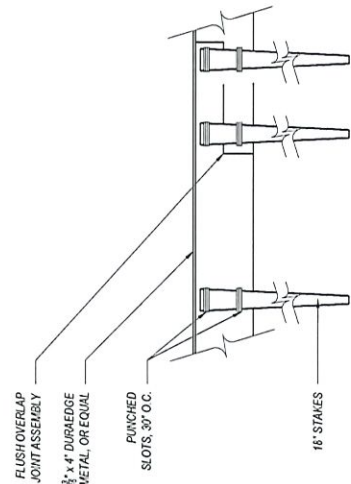


MATERIALS PLAN LEGEND

-  EXPOSED AGGREGATE CONCRETE
-  CONCRETE FOOTING
-  LAWN
-  PLANTING BED
-  FIRE HYDRANT

GENERAL NOTES

1. PROVIDE FURNISHINGS, SPECIFIED PRODUCTS AND MATERIALS AS INDICATED AND DETAILED ON THE DRAWINGS, AND AS PER MANUFACTURER'S STANDARD PRINTED SPECIFICATIONS, INSTRUCTIONS AND RECOMMENDATIONS ON THE PLAN.
2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS, CODES AND OTHER PUBLIC AGENCIES HAVING JURISDICTION ON THE WORK. CONTRACTOR SHALL NOT COMMENCE WORK UNTIL ALL CONDITIONS AND REQUIREMENTS OF APPLICABLE PUBLIC AGENCIES ARE COMPLIED WITH.
3. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, NECESSARY EQUIPMENT AND SERVICES TO COMPLETE THE SITE. FURNISHINGS AND MATERIALS WORK AS INDICATED ON THE DRAWINGS, SPECIFIED HEREIN OR BOTH, EXCEPT AS FOR ITEMS SPECIFICALLY INDICATED ON "NOTES".
4. THIS WORK SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING ITEMS:  
BENCHES, CONCRETE BENCH PADS
5. CONTRACTOR SHALL DELIVER ALL MATERIALS WITH MANUFACTURERS TAGS AND LABELS INTACT.
6. CONTRACTOR SHALL LOAD AND TRANSPORT ANY OWNER SUPPLIED SITE FURNISHINGS TO THE SITE.
7. THE CONTRACTOR SHALL STORE AND HANDLE ALL FURNISHINGS AND MATERIALS SO AS TO AVOID DAMAGE.
8. CONTRACTOR SHALL PROVIDE WORKMANSHIP AS INDICATED AND DETAILED ON THE DRAWINGS, SPECIFIED HEREIN OR BOTH, EXCEPT AS FOR ITEMS SPECIFICALLY INDICATED ON INSTRUCTIONS AND RECOMMENDATIONS.



1 DURAEDGE METAL EDGING DETAIL

SECTION NOT TO SCALE

Materials Schedule				
Quantity	Unit	Materials		Source
8	Cu Yd	Exposed Aggregate Concrete		-
7	Cu Yd	Soil-Planting Mix		Main's Landscape Supply
6	Cu Yd	Shredded Bark		Main's Landscape Supply
2	Cu Yd	Concrete Footings		-

1 MATERIALS PLAN

scale: 1/4"=1'

OWNER

UNIVERSITY OF DETROIT MERCY  
SCHOOL OF ARCHITECTURE AND  
COMMUNITY DEVELOPMENT  
4001 W. MICHIGANS  
DETROIT, MI 48221-3033  
P. 313 593 1037

LEAD DESIGN TEAM

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CONTRACTOR

TBD

BRIDGING COMMUNITIES

NORTH

DATE

12/13/2024

DESIGN REVIEW

12/16/2024

DESIGN REVIEW

2/20/2025

DESIGN REVIEW

2/28/2025

DESIGN REVIEW

03/11/2025

DESIGN REVIEW

03/21/2025

95% COMPLETE

COMPLETE

MATERIALS PLAN

L1.12

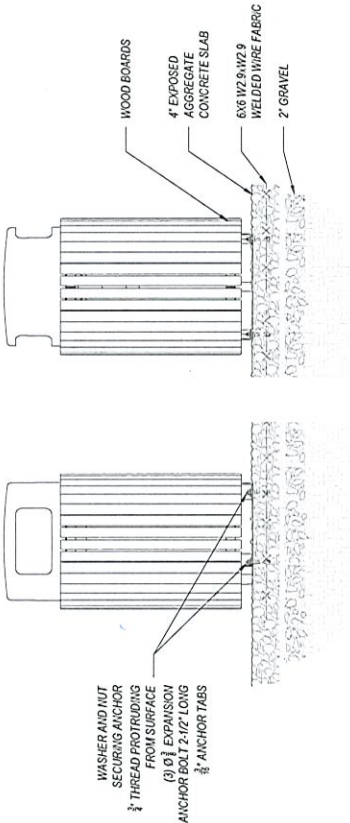






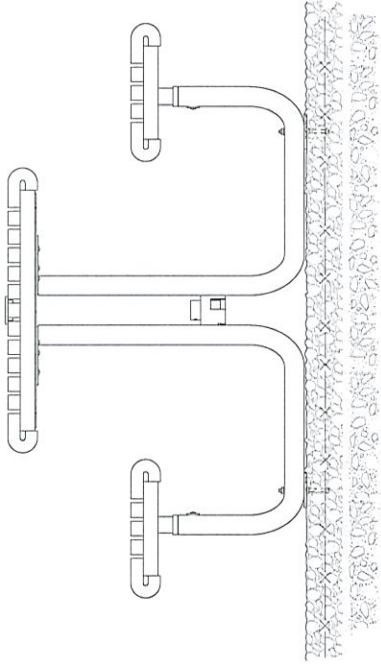
SITE FURNISHINGS PAN  
LEGEND

- W — WATER LINE
- SOLAR PATH LIGHT (NIC)
- ⊕ SOLAR WALL LIGHT (NIC)



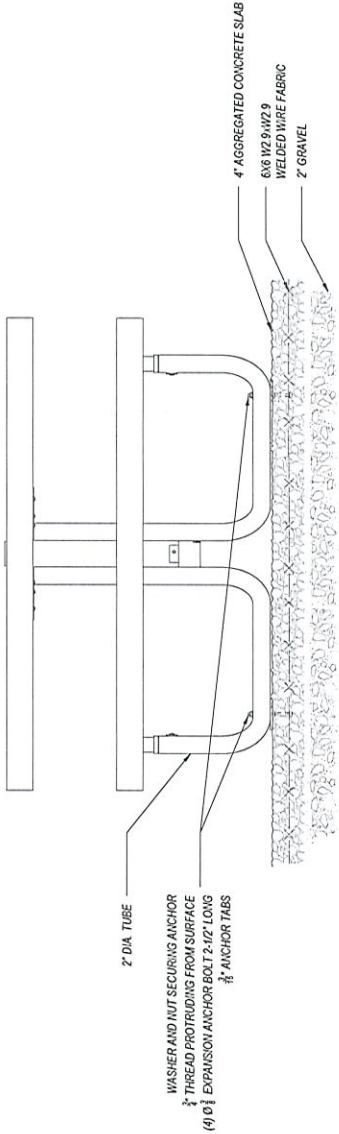
3 GRETCHEN TRASH RECEPTACLE

NOT TO SCALE



2 HARVEST DINING TABLE

NOT TO SCALE



1 HARVEST DINING

NOT TO SCALE

Furnishings Schedule		
Quantity	Materials	Source
1	Pergolux Sundream S2	Pergolux
1	Gretchen Picnic Table	Landscape Forms
1	Gretchen Litter bin	Landscape Forms
Recommended Furnishings Schedule (NIC)		
4	Hampton Bay Solar Path Lights (4/set)	HomeDepot
1	Solar Wall Lights (4/set)	Amazon
1	Arunas Outdoor Lounge Set	Wayfair
6	Carnegie Avenue Aluminum Outdoor Chair	HomeDepot
2	Woodard Pedestal Round Table	Outdoor Furniture Plus

1 SITE FURNISHINGS PLAN

scale: 1" = 1'

OWNER  
DETROIT COLLABORATIVE DESIGN CENTER  
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DETROIT, MI 48221  
P. 313 993 1037  
DETROITCOLLABORATIVEDESIGNCENTER.ORG

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aimee@dcdc.org  
Jen M. Poirer  
jen@dcdc.org

CONTRACTOR  
TBD

NOTE:  
APPROPRIATE MEASURES  
SHALL BE TAKEN TO  
PROTECT EXTERIOR WALLS,  
WINDOWS, ALL OPENINGS -  
VENTS, ETC.

4  
L117  
PERGOLUX PERGOLA S2  
FREESTANDING  
SEE PRODUCT SELECTION BOOK

2  
L114  
2- LANDSCAPE FORMS  
GRETCHEN PICNIC TABLES

7  
L116  
EXPOSED AGGREGATE  
CONCRETE PATIO

EXISTING  
BUILDING

3  
L114  
LANDSCAPE FORMS -  
GRETCHEN  
GRASS RECEPTACLE  
SEE PRODUCT  
SELECTION BOOK



DATE	
12/13/2024	DESIGN REVIEW
12/16/2024	DESIGN REVIEW
2/20/2025	DESIGN REVIEW
2/28/2025	DESIGN REVIEW
03/11/2025	DESIGN REVIEW
03/21/2025	95% COMPLETE
03/31/2025	COMPLETE

SITE FURNISHINGS PLAN

L1.14







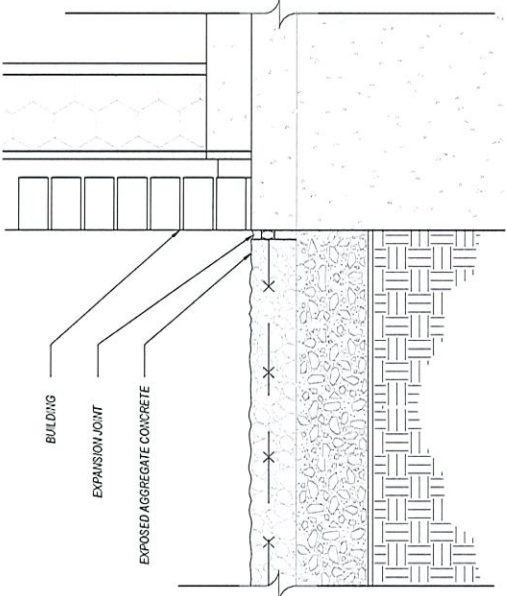
BRIDGING COMMUNITIES

NORTH

DATE	DESIGN REVIEW	DESIGN REVIEW
12/13/2024	12/16/2024	DESIGN REVIEW
2/29/2025	2/28/2025	DESIGN REVIEW
03/11/2025		DESIGN REVIEW
03/21/2025		50% COMPLETE
03/28/2025		COMPLETE

SITE DETAILS

L1.16

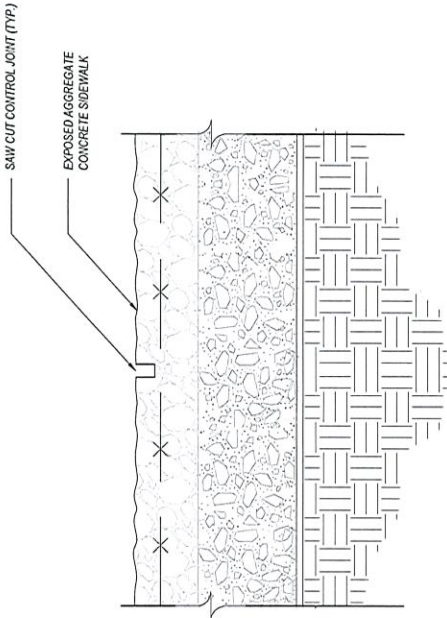


6

SECTION

EXPANSION JOINT AT BUILDING

NOT TO SCALE

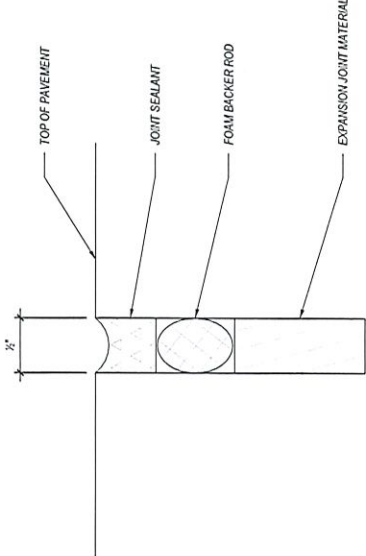


4

SECTION

SAW CUT CONTROL JOINT

NOT TO SCALE

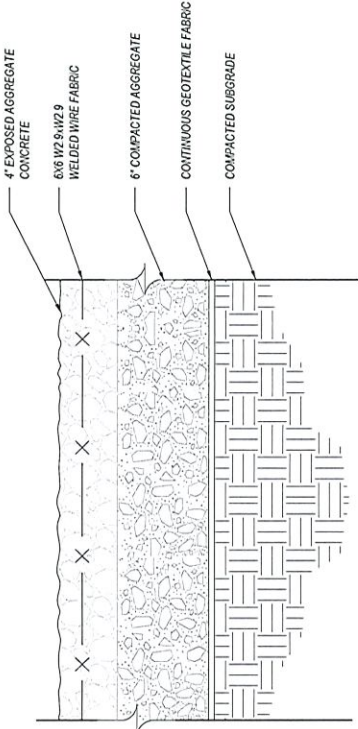


2

SECTION

EXPANSION JOINT DETAIL

NOT TO SCALE

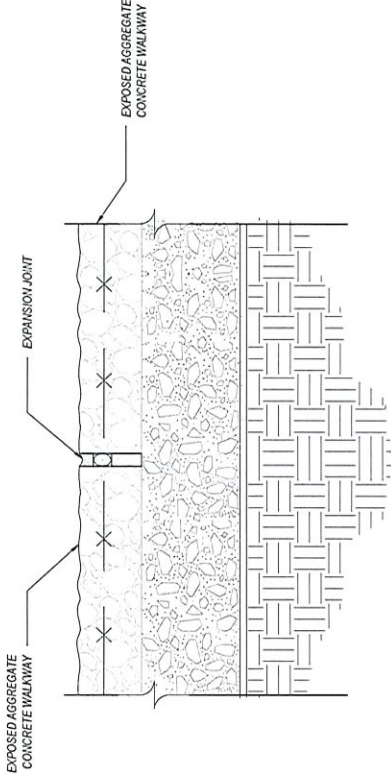


7

SECTION

EXPOSED AGGREGATE CONCRETE

NOT TO SCALE

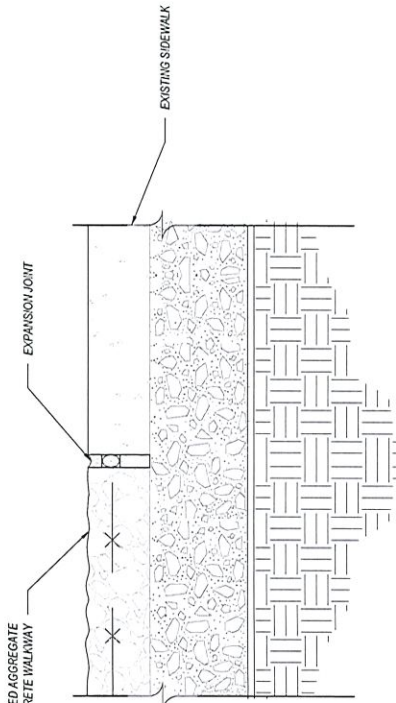


5

SECTION

EXPANSION JOINT AT AGGREGATED CONCRETE WALKWAY

NOT TO SCALE



3

SECTION

EXPANSION JOINT AT EXISTING SIDEWALK

NOT TO SCALE

1

SECTION

WALKWAY PAVING LAYOUT DETAIL

scale: 1" = 1'



